



DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**

650 SOUTH KING STREET \* HONOLULU, HAWAII 96813  
Phone: (808) 768-8220 \* Fax: (808) 768-6111

BP 879608  
1 permit

# BUILDING PERMIT

FOR THE PERFORMANCE OF WORK UNDER THE  
BUILDING ELECTRICAL, PLUMBING, AND SIDEWALK CODES  
CHAPTERS 16, 17, 19, AND 20, RESPECTIVELY, AND UNDER CHAPTER 18  
(FEES AND PERMITS) OF THE REVISED ORDINANCES OF  
THE CITY AND COUNTY OF HONOLULU

**LOCATION**

Zone	Section	Plat	Parcel
*	4	820	49

**3151 PUU PAKA DR HONOLULU / KAPALAMA 968**

**\$11,190.00**

**PERMIT FEE**  
Type of Payment(s)  
Cash

Zone	Section	Plat	Parcel
2	2	047	020

**261,360 Sq. Ft.**

Site Address (if other than primary):

Check  X  
Charge

**PROJECT:**

Accepted Value of Work: **\$1,598,000**

**(BP #879608) [TMK: \*482049, 22047020] Hugh Residence - New SFD w/ Wetbar, Driveway, Retaining Walls**  
**[THIRD PARTY REVIEW]**

**TYPE OF WORK**

Air Conditioning Y  
Fire Sprinkler Y  
Retaining Wall Y

Electrical Work Y  
New Building Y

Fence Y  
Plumbing Work Y

**RIGHT OF WAY WORK**

Sidewalk Types:  
Linear Ft. of Sidewalk:

Driveway: New:  Existing:  
Curbing Types:  
Linear Ft. of Curbing:

Private:  
Driveway Types:  
Linear Ft. of Driveway:

**Please notify the Building Inspector listed below at least 24 hours before starting work in the Right-Of-Way.**

**GENERAL CONTRACTOR**

**MINAMISHIN JOHN S**  
Contact Info: **808)620-8647**  
Lic. No.: **CT8892**

**ESCP COORDINATOR**

**NONE**  
Contact Info:  
Person in charge of construction must contact the ESCP Coordinator to schedule the pre-construction inspections of the BMPs.

**NOTES**

**Fence Clauses**

All footings shall rest on firm, stable, undisturbed soil and built entirely within property. For the work under this building permit, the City shall not be responsible, or liable for any potential drainage problems resulting from the flow of surface waters, or the alteration or concentration of surface water run-off on any property. It is a civil matter between affected parties. For the work under this building permit, the City shall not be responsible, or liable for any potential drainage problems resulting from the flow of surface waters, or the alteration or concentration of surface water run-off on any property. It is a civil matter between affected parties.

**Solar Clauses**

Panels to be installed per preapproved details. MM# \_\_\_\_\_ #of panels \_\_\_\_\_ tank location. Roof framing is wood construction and the mounting system is a pre-manufactured type.

**DATE ISSUED 06/06/2022**

Location Permit Issued **FMB**  
Location Application Created: **FMB**

Permission is hereby given to do above work according to conditions hereon and according to approved plans and specifications pertaining thereto, subject to compliance with ordinances and laws of the City and County of Honolulu and State of Hawaii.

FOR DIRECTOR OF DEPARTMENT OF PLANNING AND PERMITTING

**THIS PERMIT MUST BE POSTED IN A CONSPICUOUS PLACE ON THE SITE DURING THE PROGRESS OF WORK. THIS PERMIT MAY BE REVOKED IF WORK IS NOT STARTED WITHIN 180 DAYS OF DATE OF ISSUANCE OR IF WORK IS SUSPENDED OR ABANDONED FOR 120 DAYS.**

ELECTRICAL AND PLUMBING WORK TO BE DONE BY LICENSED PERSONS AS REQUIRED UNDER CHAPTER 448 E, HAWAII REVISED STATUTES.  
NOTICE TO HOMEOWNERS: This is to inform all homeowners that improvements to your home may require approval by your Homeowners Association or authorized representative prior to the commencement of construction.

APPLICATION NO.: **A2021-05-0590**

JobID: **92099025**

PERMIT NO.: **879608**



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**CITY AND COUNTY OF HONOLULU**

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# BUILDING PERMIT

FOR THE PERFORMANCE OF WORK UNDER THE  
BUILDING ELECTRICAL, PLUMBING, AND SIDEWALK CODES  
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Approval by the Department of Planning and Permitting does not certify compliance with the Covenants, Conditions and Restrictions or other design restrictions administered and enforced by your Homeowners Association.

ALL CONSTRUCTION UNDER THIS BUILDING PERMIT IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. IT SHALL BE THE DUTY OF THE PERSON DOING THE WORK AUTHORIZED BY THIS PERMIT TO NOTIFY THE BUILDING OFFICIAL THAT THE WORK IS READY FOR INSPECTION.

THE FOLLOWING ARE THE INSPECTORS ASSIGNED TO INSPECT THE CONSTRUCTION UNDER THIS PERMIT AND THEIR TELEPHONE NUMBERS:

	<u>Building Inspector</u>	<u>Electrical Inspector</u>	<u>Plumbing Inspector</u>	<u>Storm Water Quality Inspector</u>
Name	IRINEO PAGAT	CLYDE KISHI	BLAKE ASATO	
Phone No.	(808) 768-8131	(808) 768-8177	(808) 768-8193	

Tax Map Key: 2-2-047:020  
Application Index No: A2021-05-0590  
Project Name: Hugh Residence  
Building Permit No.: BP 879608

BUILDING DIVISION  
DEPARTMENT OF PLANNING AND PERMITTING

**SUPPLEMENTAL INFORMATION FOR BUILDING OWNER**

The following information should prove helpful in determining whether additional information should be obtained before starting your project.

1.  **A Phone Call May Save Your Life** – If you have underground utilities, investigate before you start work. Call:

Hawaii One-Call Center

1-866-423-7287 or 811

According to the Hawaii One Call Law (Call Before You Dig) effective January 1, 2006, an excavator is required to call for utility toning at least 5 working days (excluding holidays and weekends) before starting excavation. One call does it all, as all the utility operators who have underground utilities will be notified. You will be required to pre-mark your proposed area of excavation with white paint.

For more information, go to [www.callbeforeyoudig.org](http://www.callbeforeyoudig.org)

**Be Aware of the Sign, Asbestos, Lead-based Paint, Noise, and OSH Regulations**

Sign Regulations – Building Division

768-8220

Asbestos and Lead-Based Paint

Regulations – Department of Health

586-5800

Noise Regulations – Department of Health

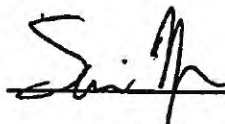
586-4700

Occupational Safety & Health – DOSH

586-9100

Department of Labor

2.  Owners will be responsible to notify the Federal Aviation Administration (FAA) for structures which exceed 200 feet in height above ground line and certain structures within 4 miles from the nearest point of the nearest runway of each airport. (Single-family dwellings exempted). FAA telephone is 541-1243.
3.  Owners are required to verify their deeds, lease agreements, and/or association by-laws for any building / zoning restrictions.
4.  **HOUSE NUMBERING REQUIREMENTS** - All main entrances to buildings shall be numbered with numbers at least two inches in height. Address signs shall not exceed one square foot. Emergency service agencies such as fire, police, ambulance, etc., can respond more readily with minimum delays when buildings are properly numbered.
5.  To prevent termite entry, the building code requires openings around pipes or other penetrations in concrete slab-on-grade to be filled with non-shrink grout.
6.  Plumbing and/or Electrical plans not checked. Project subject to inspection for code compliance.
7.  Plumbing and/or electrical work shall be inspected and approved prior to concealment.
8.  **PROTECTION OF ADJOINING PROPERTY** - The owner and contractor doing the excavation or fill shall be responsible to implement safety measures to protect adjoining properties, streets or natural watercourses from falling rocks, boulders, soil, debris and other dangerous objects.
9.  **EROSION AND SEDIMENT CONTROL** – Since it is unlawful to discharge pollutants from the construction site, the owner and the contractor shall check the criteria for handling drainage discharges and ensure compliance with all appropriate regulations including Best Management Practices (BMP) requirements for construction sites. Call 768-8218 or 768-8219, or go to [www.honoluluodpp.org](http://www.honoluluodpp.org) for more information.



Signature of Owner

5/17/21

Date

# 879608  
6/6/2022  
x

Department of Planning and Permitting City and County of Honolulu  
THIRD PARTY REVIEW CERTIFICATION FORM

Project title: Hugh Residence - New SFD w/ Welbar, Driveway, Retaining Walls  
Building Permit Application No.: A2021-05-0590  
Tax Map Key Number (s): \*482049, 22047020  
Owner's Name (Print): Sam Hugh  
Signature of Owner: Sam H

The undersigned hereby certifies that the undersigned is duly qualified and registered with the Department of Planning and Permitting as a Third Party Reviewer as set forth in Sections 20-7-2 through 20-7-6 of the Department of Planning and Permitting's Administrative Rules, and that the undersigned has reviewed the owner's building permit submission, in compliance with applicable permitting requirements, Section 20-7-6 of the Department of Planning and Permitting's Administrative Rules, and that, in the undersigned's professional opinion, the building permit plans submitted by the owner, are in compliance with the codes, ordinances, rules, and other applicable requirements as set forth in Section 20-1-1 of the Department of Planning and Permitting's Administrative Rules.

Building Code of the City and County of Honolulu - Structural:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Building/Housing Codes of the City and County of Honolulu - Nonstructural:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Electrical Code of the City and County of Honolulu:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Mechanical requirements as defined in Section 20-7-2(b), Department of Planning and Permitting's Administrative Rules Relating to Administration of Codes:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Land Use Ordinance:

Name (Print): \_\_\_\_\_  
State Registration Number: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Building Code of the City and County of Honolulu - Residential:

Name (Print): Greg Quinn  
State Registration Number: AR-7131  
Signature: Gregory A. Quinn  
Phone Number: 8086208021

**ACCEPTED** (for official use only)

By 3/2/22 Date 4/4/22  
 Job SWQR # 2022-04-0859  
 PBMP Inspection Required to Verify ISA  
 Existing Nonconforming ISA

## Appendix G1 Residential Storm Water Management Plan Checklist

**Date of Preparation:**  New Project     Revision to Existing Project

Project Description	
Building Permit Application #:	<u>A2021-05-0590</u>
Project Name:	<u>HUGH RESIDENCE</u>
Project Address:	<u>3151 PUU PAKA DR.</u>
Tax Map Key (TMK):	<u>2-2-047:020</u>
Project Size (feet <sup>2</sup> ):	<u>4,240.00</u>
Project Lot Size (feet <sup>2</sup> ):	<u>20,255.00</u>
Existing impervious surface area (ISA)(feet <sup>2</sup> ):	<u>0.00</u>
ISA added (feet <sup>2</sup> ):	<u>9,325.00</u>
ISA removed (feet <sup>2</sup> ):	<u>0.00</u>

Percent and Total Impervious Surface Calculation
--

$$1. \frac{0.00 \text{ (feet}^2\text{)}}{\text{Existing ISA}^*} + \frac{9,325.00 \text{ (feet}^2\text{)}}{\text{New ISA}^*} - \frac{0.00 \text{ (feet}^2\text{)}}{\text{Removed ISA}} = \frac{9,325.00 \text{ (feet}^2\text{)}}{\text{Net Total ISA}^{**}}$$

$$2. 100 \times \left[ \frac{9,325.00 \text{ (feet}^2\text{)}}{\text{Net Total ISA (from above)}} \div \frac{20,255.00 \text{ (feet}^2\text{)}}{\text{Lot Size}} \right] = \underline{46.04\%} \text{ } \checkmark$$

\*Impervious surface means a surface covering or pavement of a developed parcel of land that prevents the land's natural ability to absorb and infiltrate rainfall or storm water. Impervious surfaces include, but are not limited to rooftop, deck, swimming pool/water features (e.g. Koi pond), walkways, patios, driveways, parking lots/ parking surfaces, storage areas, impervious concrete and asphalt, gravel driveway, unpaved surfaces directly below the roof eave/overhang, and any other continuous watertight pavement or covering.

Do not count pervious surfaces such as grass, vegetated areas, mulch, gravel (not for parking or driveway usage), or sand surfaces, and permeable pavers UNLESS they are covered with a roof or other raised structure.

\*\*Excludes de minimis surfaces including fences, vertical walls, and natural rock outcrops.

## Management Practices to Meet Water Quality

### i. Site Design Strategies

The following strategies will be incorporated to the maximum extent practicable to minimize the total impervious surface area on the lot and may not exceed 75% per Subsection R107.5.1 of the International Residential Code:

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Landscaped areas  | <input checked="" type="checkbox"/> Downspout outlet protection |
| <input type="checkbox"/> Storm drain inlet markings   | <input type="checkbox"/> Permeable hardscape                    |
| <input type="checkbox"/> Automatic irrigation systems | <input type="checkbox"/> Rain garden                            |
| <input type="checkbox"/> Downspout disconnection      | <input type="checkbox"/> Minimize soil compaction               |
| <input checked="" type="checkbox"/> Planter Box       | <input type="checkbox"/> None                                   |

### ii. Residential Source Control BMPs

Any site activity or feature that is checked below requires source control BMPs. Attach the appropriate sheets from Attachment B. The following activities take place at the site:

- |   |   |
|---|---|
| <input type="checkbox"/> Gardening                              | <input type="checkbox"/> Swimming Pool Management |
| <input type="checkbox"/> Pesticides, Herbicides and Fertilizers | <input type="checkbox"/> Trash Management         |
| <input type="checkbox"/> Residential Car Washing                | <input checked="" type="checkbox"/> None          |
| <input type="checkbox"/> Residential Car Maintenance            |   |

### iii. Required Attachments

1. **Attachment A:** Site or plot plan showing existing, added, replaced, and removed impervious areas, including surface finishes (i.e.: grass, concrete, gravel, etc) and the above Site Design Strategies.
2. **Attachment B:** Site Design Strategies and Residential Source Control BMPs (owner's copy only).

### iv. Revisions

If this is being submitted as a revision, provide a narrative of the revisions and attach revised site plan.

## RSWMP CHECKLIST PREPARATION STATEMENT

Check off one of the following:

- Prepared by an Architect, Engineer, or Draftsman:

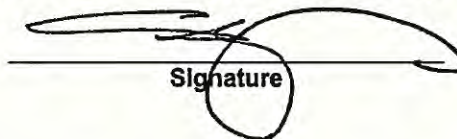
This work was prepared by me or under my supervision. To the best of my knowledge, the information submitted is true, accurate and complete. A copy of the approved RSWMP including the attachments A and B will be provided to the owner for their record.

- Prepared by the owner of the property:

This work was prepared by me using scaled plans prepared by a licensed professional or a professional draftsman, whose services were retained by me or the previous owner. To the best of my knowledge, the information submitted is up to date, accurate, and complete.

Geoffrey Lewis

Print Name



Signature

05/17/2021

Date

## Owner's Certification Statement

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The undersigned, while it owns the subject property, is responsible for the implementation of the provisions of this RSWMP, prepared by Geoffrey Lewis, the architect, engineer or draftsman designated under my authority, or myself and will ensure that this checklist is amended as appropriate to reflect up-to-date conditions on the site.

This RSWMP and associated fact sheets will be reviewed with the maintenance and service contractors or any other party having responsibility for implementing specific portions of this RSWMP. A copy of the certified RSWMP shall be available on the subject property indefinitely.

I will be responsible for the Site Design Strategies and Source Control BMPs identified herein.

Once the undersigned transfers its interest in the property, its successors-in-interest shall bear the aforementioned responsibility to implement and amend the RSWMP. The Department of Facility Maintenance Division of Storm Water Quality will be notified of the change of ownership and the new owner will submit a new certification.

I understand that there are significant penalties for discharging polluted runoff into the City MS4.

CAVEAT: I understand that the City and County of Honolulu will be assessing property(ies) exceeding 75% of ISA to have higher than average Storm Water Utility fee.

<u>SAM HUBB</u>	<u>[Signature]</u>	<u>5/17/21</u>
Print Owner's Name	Signature	Date

Address:	<u>918 Bannister Street, Honolulu HI 96819</u>
E-mail Address:	<u>samh@hamproduceandseafood.com</u>
Telephone #:	<u>(808) 842-7171</u>

TOTAL ISA  
4,240 + 5,085 = 9,325 SF

NEW  
CONCRETE  
SURFACE

COVERED  
LANAI

NEW DWELLING  
(4,240 SF TOTAL)

COVERED  
ENTRY

PLANTER

NEW CONCRETE  
SURFACE  
(5,085 SF TOTAL)

PLANTER

NEW  
CONCRETE  
SURFACE

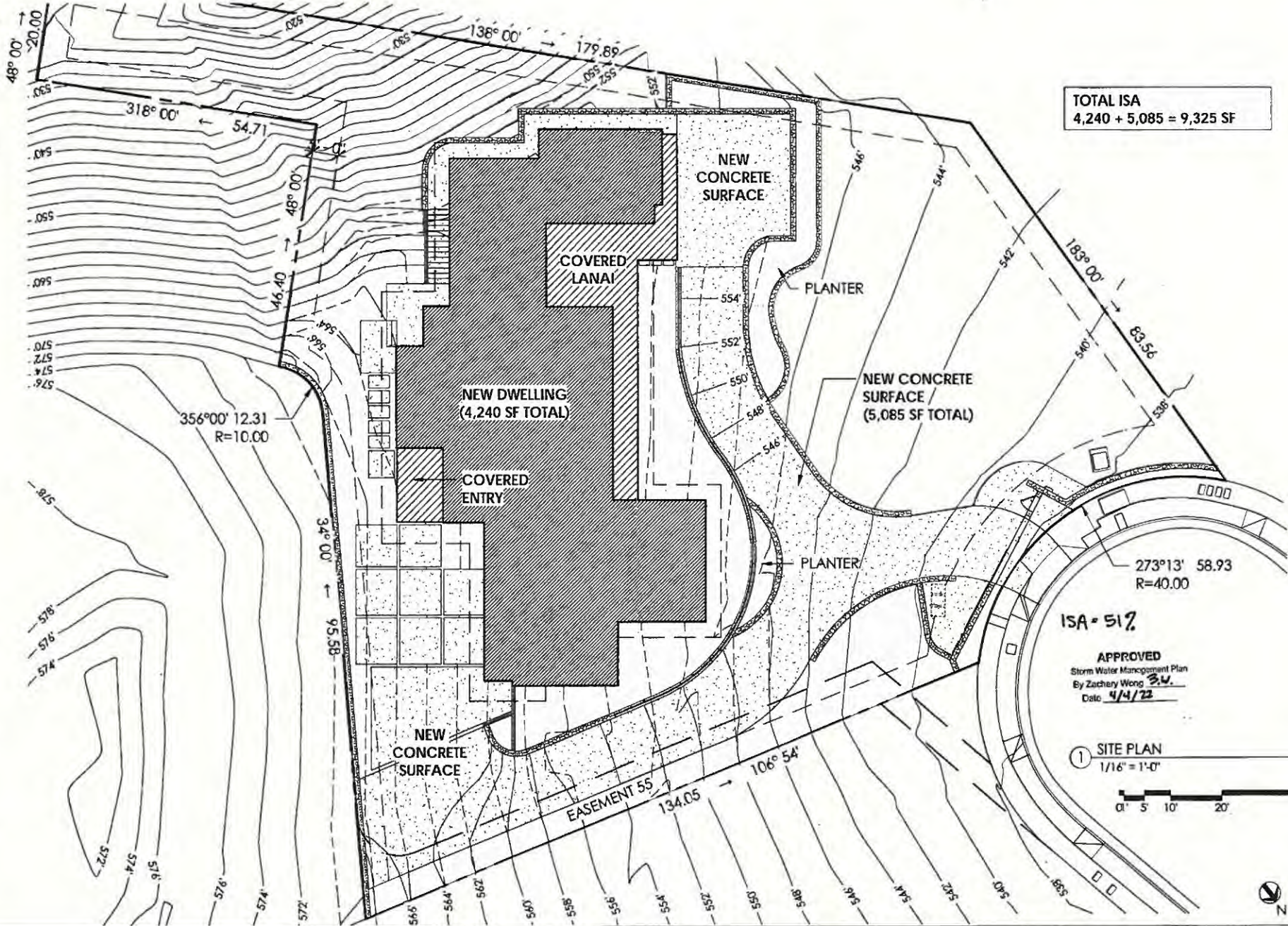
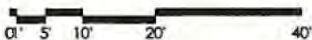
EASEMENT 55'

273°13' 58.93  
R=40.00

ISA = 51%

APPROVED  
Storm Water Management Plan  
By Zachary Wong *ZW*  
Date 4/4/22

1 SITE PLAN  
1/16" = 1'-0"





NEW SINGLE FAMILY DWELLING FOR  
**HUGH RESIDENCE**

3151 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

**BUILDING DIVISION  
 FILE COPY**

APPROVED FOR CROSS-CONNECTION CONTROL  
 (PDC - NSF & NFPA 13D approved fire sprinkler riser and  
 check valve at the point of connection to the automatic fire  
 sprinkler system)

BY: SPRINK 2/10/11  
 DATE: 02/11/11

SPRINK Cross-Connection Control Section

DEPT. OF PLANNING AND PERMITTING  
 CITY OF HONOLULU COUNTY OF HONOLULU

ACCEPTANCE: 4/16/21  
 ZONING CODE: RS-1  
 ELECTRICAL:  
 PLUMBING:  
 BUILDING:

PROJECT: Hugh Residence  
 PERMIT: 2-2-047-020  
 DATE: 04/16/21

DEPT. OF PLANNING AND PERMITTING  
 SITE DEVELOPMENT DIVISION  
 CIVIL ENGINEERING BRANCH

BY: CH DATE: 4/16/21  
 PROJECT: 2-2-047-020  
 DRAWING: COVER SHEET

RESIDENTIAL STORM WATER MANAGEMENT NOTES FOR SINGLE-  
 FAMILY AND TWO-FAMILY DWELLING PROJECTS:  
 (F) USE SITE DESIGN STRATEGIES TO REDUCE THE IMPERVIOUS  
 SURFACE AREAS TO THE MAXIMUM EXTENT PRACTICAL. THE  
 TOTAL IMPERVIOUS SURFACE AREA FOR THE LOT MAY NOT  
 EXCEED 75% PER LUO SECTION 21-3.70.(G).  
 (G) TOTAL IMPERVIOUS AREA = 51 %.

APPROVED  
 CIVIL ENGINEER  
 CHUCK HENRY, P.E.  
 No. 31627

**HUGH RESIDENCE**  
 3151 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

BUILDING DIVISION  
 FILE COPY

Revision: \_\_\_\_\_ By: \_\_\_\_\_ Date: \_\_\_\_\_

Title: COVER SHEET  
 Project No.: \_\_\_\_\_  
 Date: 4/16/21  
 Design: CH



REGISTERED PROFESSIONAL ARCHITECT  
 ARCHITECTURE  INTERIOR DESIGN  
 MECHANICAL  ELECTRICAL  CIVIL  
 STRUCTURAL  LANDSCAPE ARCHITECTURE

**IGIA**  
 GEORGEY LEWIS ARCHITECT, INC.  
 3727 OLD PALM ROAD  
 HONOLULU, HI 96817

BUILDING DIVISION  
 FILE COPY



**CONSTRUCTION NOTES:**

1. ALL APPLICABLE CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SEVENTH EDITION AND STANDARD DETAILS FOR PUBLIC WORKS, BOTH AS DEVELOPED BY HONOLULU AND THE COUNTY OF KAUAI, MAUI AND HAWAII.
2. THE UNDERGROUND PRESS. CHAINS OR CABLES EXISTING TO EAST OF THE DRIVEWAY FROM THE START OF RECORDS ARE LOCATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXPOSE PROPER CARE IN EXCAVATING IN THE AREA. WHENEVER CONNECTIONS OF NEW UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS FROM TO EXCAVATION FOR THE NEW LINES.
3. THE CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALING ROOTS, SOIL OR DRAINS IN ANY FORM TO FALL, SLIDE OR FLOW AND EXISTING CUT DRAINAGE STRUCTURES, OR CONCRETE PAVEMENT, STRUCTURES OR UTILITIES SHALL BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATION WITH THE APPLICABLE PROVISIONS OF THE WATER QUALITY AND WATER POLLUTION CONTROL STANDARDS CONTAINED IN HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 54, WATER QUALITY STANDARDS; AND TITLE 11, CHAPTER 55, WATER POLLUTION CONTROL, AS WELL AS CHAPTER 14 OF THE RECOVERED ORDINANCES OF HONOLULU, AS AMENDED. BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED AT ALL TIMES DURING CONSTRUCTION. PREPARATION TO CHAPTER 66, HRS, IN THE EVENT ANY AFFAIRS OF HUMAN REMAINS ARE UNCOVERED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE HONOLULU POLICE DEPARTMENT, THE STATE DEPARTMENT OF LAND AND NATURAL RESOURCES-ANTHROPOLOGICAL PRESERVATION DIVISION (692-6010).
4. FOR PROJECTS AFFECTING STATE HIGHWAYS RIGHTS-OF-WAY, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL NOTIFY THE STATE DEPARTMENT OF TRANSPORTATION, HIGHWAYS DIVISION, CIVIL DESIGN, PLANNING DIVISION, UNIT AT 831- 6700 FOR AN ASSESSMENT OF STATE HIGHWAYS FROM RECORDATIONS.
5. FOR EACH WORK, SEE SHEET C101

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEVIATION OF EXISTING OR SET LOCATIONS AND LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL UNDESIRABLE MATERIALS, THE FILLING OF ALL DEPRESSIONS CAUSED BY EXCAVATION AND GRADES OF THESE AREAS SO AS NOT TO BE DISCOVERED TO VIEW. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED SAFETY REGULATIONS IN THE PERFORMANCE OF HIS WORK.
2. REMOVE ALL VEGETATION ROOTS AND CONTACT AREAS BEFORE REPAVING. FILL SHALL BE PLACED IN 6" LAYERS (LOOSE MEASURE) AND COMPACTED TO 93% OF UNMOUND DENSITY AS DETERMINED BY ASTM D-1557 - VIBRATORY COMPACTOR. FILL SHALL BE LOCALLY OBTAINED AND SUBJECT FOR FILL PROGRESS. THE TOP 12" OF FILL OR TOP UNDER PROPOSED BASE SHALL BE COMPACTED TO 93% OF UNMOUND DENSITY AS DETERMINED BY ASTM D-1557 - LATEST EDITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO STABILIZE SLOPED AREAS. THE CONTRACTOR SHALL GRADE AND SEED OR SOIL THE AREA WITH THE PROVISION THAT HE SHALL MAINTAIN THE SEEDS OR SOEDS FROM BEING WASHED AWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS.
4. DIMENSIONS, BUILDING LOCATIONS AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE OF JUNE, 1988. DIMENSIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CORRECTIONS DURING THE PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE DESIGNER PRIOR TO STARTING CONSTRUCTION.
5. ALL CONSTRUCTION OF UTILITIES TO BE IN ACCORDANCE WITH BUILDING CODES.
6. LOCATION OF UNDERGROUND UTILITIES, DRAINING OR PROVISION, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF DESIGN UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
7. ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTION IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS AND STANDARDS.
8. SEE SHEET (SHEET C101) FOR DESCRIPTION OF EXISTING UTILITIES WITHIN SITE.
9. FOR BENCH MARK, SEE SHEET C101.

**DIST. CONTROL:**

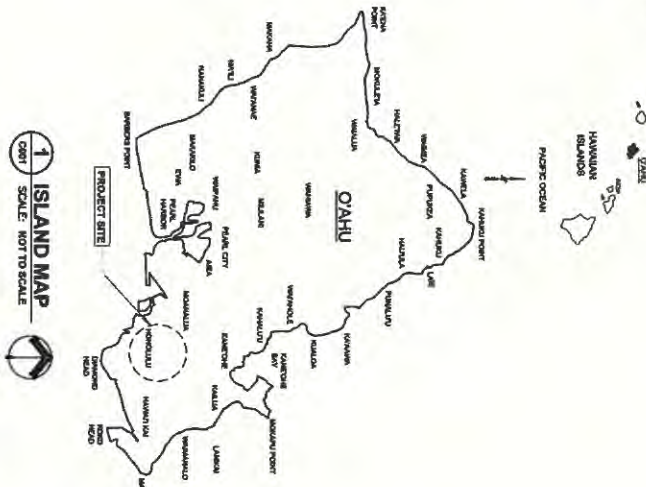
1. THE GRADED OR PROPOSED SITE THAT IS CLASSIFIED AS VEGETATION SHALL BE KEPT CLEAR.
2. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO THAT EXISTING VEGETATION AND IMPROVED AREAS SHALL BE PROTECTED TO PREVENT ANY PROBLEMS.
3. THE PROJECT SITE SHALL BE KEPT CLEAR WITHIN THE 50' (7) METER (23) FEET (7) OF THE DISTRICT BOUNDARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS.
4. TEMPORARY VEGETATION COVER SHALL BE PLACED WITHIN A PERIOD OF THREE (3) MONTHS FROM THE DATE THE SITE HAS BEEN EXPOSED OR GRADED OR THE DATE THE DISTRICT BOUNDARY FOR MORE THAN THREE (3) MONTHS.
5. TEMPORARY VEGETATION COVER SHALL BE KEPT IN PLACE UNTIL THE DISTRICT BOUNDARY FOR MORE THAN THREE (3) MONTHS OF EXPOSURE. VEGETATION COVER SHALL BE KEPT IN PLACE UNTIL THE DISTRICT BOUNDARY FOR MORE THAN THREE (3) MONTHS.

**GRADING NOTES:**

1. ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH CHAPTER 14, ARTICLES 12, 14, 15 AND 16 OF THE HAWAII CONSTITUTION AND STANDARD DETAILS OF THE RECOVERED ORDINANCES OF HONOLULU, 1990, IS APPLICABLE.
2. NO CONSTRUCTION SHALL PERFORM ANY GRADING OPERATION SO AS TO CAUSE FALING ROOTS, SOIL OR DRAINS IN ANY FORM TO FALL, SLIDE OR FLOW AND EXISTING CUT DRAINAGE STRUCTURES, OR CONCRETE PAVEMENT, STRUCTURES OR UTILITIES SHALL BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATION WITH THE APPLICABLE PROVISIONS OF THE WATER QUALITY AND WATER POLLUTION CONTROL STANDARDS CONTAINED IN HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 54, WATER QUALITY STANDARDS; AND TITLE 11, CHAPTER 55, WATER POLLUTION CONTROL, AS WELL AS CHAPTER 14 OF THE RECOVERED ORDINANCES OF HONOLULU, AS AMENDED. BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED AT ALL TIMES DURING CONSTRUCTION. PREPARATION TO CHAPTER 66, HRS, IN THE EVENT ANY AFFAIRS OF HUMAN REMAINS ARE UNCOVERED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE HONOLULU POLICE DEPARTMENT, THE STATE DEPARTMENT OF LAND AND NATURAL RESOURCES-ANTHROPOLOGICAL PRESERVATION DIVISION (692-6010).
3. THE CONTRACTOR, AT HIS OWN RISK, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM LIQUID MATERIALS. THE WORK SHALL BE IN ACCORDANCE WITH THE AIR POLLUTION CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 61, AIR POLLUTION CONTROL.
4. THE UNDERGROUND PRESS. CHAINS OR CABLES EXISTING TO EAST OF THE DRIVEWAY FROM THE START OF RECORDS ARE LOCATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXPOSE PROPER CARE IN EXCAVATING IN THE AREA. WHENEVER CONNECTIONS OF NEW UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS FROM TO EXCAVATION FOR THE NEW LINES.
5. TEMPORARY VEGETATION COVER SHALL BE PLACED WITHIN A PERIOD OF THREE (3) MONTHS FROM THE DATE THE SITE HAS BEEN EXPOSED OR GRADED OR THE DATE THE DISTRICT BOUNDARY FOR MORE THAN THREE (3) MONTHS.
6. ALL STOPS AND PROPOSED AREAS SHALL BE SIGNED OR PLACED AS SHOWN AS THAT SIGNS HAVE BEEN ESTABLISHED. PLANNING SHALL NOT BE OBTAINED UNTIL ALL GRADING WORK HAS BEEN COMPLETED. GRADING TO FILL SHALL BE COMPLETED, AND ANY AREA WHICH WHICH WORK HAS BEEN INTERRUPTED OR DELAYED SHALL BE FURNISHED.
7. FILL ON SLOPED STEEPERS THAN 5:1 SHALL BE NOTED.
8. THE CITY SHALL BE WORKING OF THE LOCATION OF THE BROWNS/PROSOLA SITE FOR THE PROJECT WHEN THE APPLICATION FOR A GRADING PERMIT IS MADE. THE BROWNS/PROSOLA SITE MUST ALSO BE NOTED.
9. NO GRADING WORK SHALL BE DONE ON STAIRWAYS, STAIRS AND RAMPERS AT ANY TIME WITHOUT PRIOR NOTICE TO THE DIRECTOR, D.P.P., PROVIDED SUCH GRADING WORK IS ALSO IN ACCORDANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 46, COMMUNITY NOISE CONTROL.
10. THE LIMITS OF THE AREA TO BE GRADED SHALL BE PLACED BEFORE THE COMPLETION OF THE GRADING WORK.

11. THE GENERAL CONTRACTOR/DESIGNER/OWNER OF THE PROJECT SHALL BE RESPONSIBLE FOR THE GRADING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS.
12. WHERE APPLICABLE AND FEASIBLE, THE MEASURES TO CONTROL EROSION AND OTHER DISTURBANCES SHALL BE IN PLACE BEFORE ANY EARTH MOVING PHASE OF THE DISTRICT IS INITIATED.
13. TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
14. TEMPORARY EROSION CONTROL PROCEDURES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO APPLICATION FOR GRADING PERMIT.
15. IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.
16. BALANCE POINT FOR RETAINING WALLS SHALL BE DETERMINED PRIOR TO COMMENCEMENT OF GRADING WORK ON SITE.
17. FOR NON-CITY PROJECTS, THE CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEERING BUREAU, D.P.P. AT 708-5040 TO OBTAIN THE NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS.
18. PREPARATION TO CHAPTER 66, HRS, IN THE EVENT ANY AFFAIRS OF HUMAN REMAINS ARE UNCOVERED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE HONOLULU POLICE DEPARTMENT, THE STATE DEPARTMENT OF LAND AND NATURAL RESOURCES-ANTHROPOLOGICAL PRESERVATION DIVISION (692-6010). IN ADDITION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE HONOLULU POLICE DEPARTMENT, THE STATE DEPARTMENT OF LAND AND NATURAL RESOURCES-ANTHROPOLOGICAL PRESERVATION DIVISION (692-6010), AND THE CITY OF HONOLULU, FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS.

19. FOR ALL PROJECTS, WORK SHALL BE DONE IN ACCORDANCE WITH CHAPTER 14, ARTICLES 12, 14, 15 AND 16 OF THE HAWAII CONSTITUTION AND STANDARD DETAILS OF THE RECOVERED ORDINANCES OF HONOLULU, 1990, IS APPLICABLE.
20. ALL GRADING AND CONSTRUCTION WORK SHALL IMMEDIATELY BE STOPPED TO ENSURE THAT THE PROJECT AREA AND SURROUNDING AREA IS FREE FROM LIQUID MATERIALS. THE WORK SHALL BE IN ACCORDANCE WITH THE AIR POLLUTION CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 61, AIR POLLUTION CONTROL.
21. NON-COMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK, AND REENTRY WORK SHALL BE STOPPED IMMEDIATELY. ALL COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF NON-COMPLIANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE AREAS AS REQUIRED UNDER THE STATE WATER QUALITY STANDARDS.
22. FOR BENCH MARK, SEE SHEET C101.



INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	PRELIMINARY COVER SHEET
2	TYPICAL SITE DETAILS
3	TYPICAL CIVIL DETAILS-1
4	EXISTING SITE CONDITIONS
5	NEW SITE PLAN
6	EROSION CONTROL PLAN AND DETAILS
7	SITE BOUNDARY PLAN
8	BUILDING SECTIONS

**DELTA ENGINEERING**

PO BOX 161270  
HAWAII, HI 96816  
TEL 384-1999 373-1872(7)  
and deltam@comcast.net

**HUGH RESIDENCE**

PUU PAKA DR, HONOLULU HI 96817  
TMC: 2-02-047-020

**GLAI**

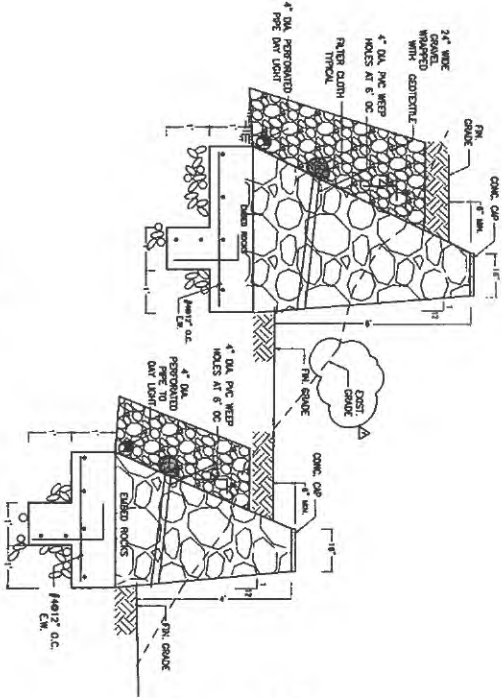
GEORFFREY LEWIS ARCHITECT, INC.

922 OLD PAUROAD P O BOX 295-0204  
HONOLULU, HI 96848 17 F (808) 595-5204 F (808) 595-2061

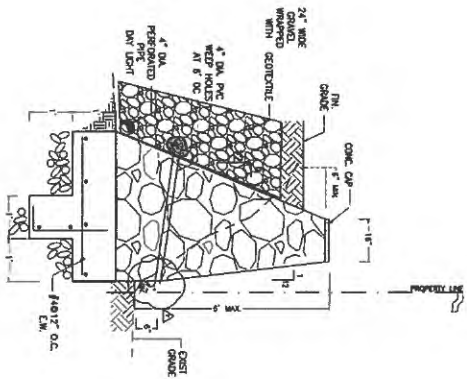
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DRAWN BY: FJL/K

COVER SHEET

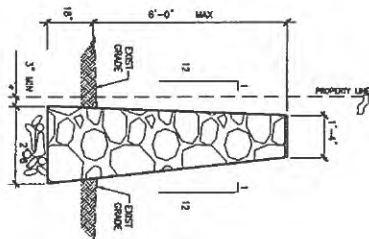
PROJECT NO: C001



**A SECTION**  
 C002 SCALE: 1" = 10'-0"



**B SECTION**  
 C002 SCALE: 1" = 10'-0"



**C SECTION**  
 C002 SCALE: 1" = 10'-0"

MATERIALS PERMITTED  
 TYPICAL SITE DETAIL PERMITTED  
 DIMENSIONS PERMITTED  
 DIMENSIONS PERMITTED  
 DIMENSIONS PERMITTED

**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 3927 OLD PALI ROAD HONOLULU, HI 96817  
 P (808) 595-6046 F (808) 595-2061

HAWAIIAN ARCHITECTS ASSOCIATION  
 LICENSE NO. 10000  
 REGISTERED ARCHITECT  
 GEOFFREY LEWIS ARCHITECT, INC.  
 10/10/2011

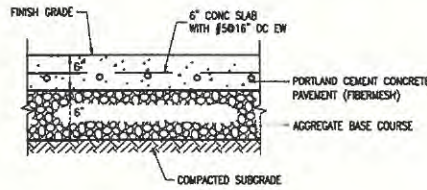
**HUGH RESIDENCE**  
 521 PULU PAKA DR, HONOLULU HI 96817  
 IMK: 2-2-047-020  
 DATE: 4/17/2021  
 SHEET: FB08X

**DELTA ENGINEERING**  
 PO BOX 161255  
 HONOLULU, HAWAII, 96816  
 TEL 504-1999 573-1872(7)  
 email: deltam@deltaeng.com

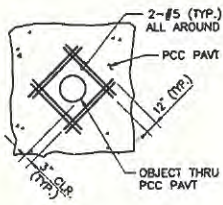
C002

**NEW CONCRETE ROAD:**

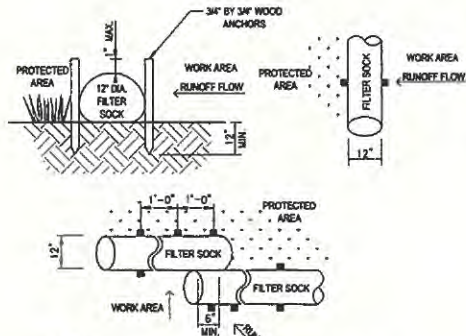
- CONTRACTOR SHALL PROVIDE A PAVING PLAN SHOWING THE LOCATIONS OF ALL CONSTRUCTION, EXPANSION AND CONTRACTION JOINTS; WELDED WIRE FABRIC REINFORCING; AND PENETRATING REINFORCING.
- FOR NON-RECTANGULAR OR IRREGULAR SHAPED PAVEMENT, PROVIDE 6 x 6-W1.4 x W1.4 GALVANIZED WELDED WIRE FABRIC REINFORCING.
- AT PENETRATIONS, PROVIDE 2-#5 DIAGONAL BARS AT EACH CORNER OF RECTANGULAR PENETRATIONS AND 2-#5 DIAGONAL BARS ALL AROUND CIRCULAR PENETRATIONS.
- UNLESS OTHERWISE NOTED, CONTROL JOINTS SHALL BE IN ACCORDANCE WITH STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, SEPTEMBER 1984
- CONTRACTION JOINTS SHALL BE SAWS AND FILLED WITH JOINT SEALER IN ACCORDANCE WITH R-10. CONTRACTION JOINTS SHALL BE SPACED AT 12 FEET MAXIMUM ON CENTERS EACH WAY.
- CONSTRUCTION JOINTS SHALL BE IN ACCORDANCE WITH DPW STANDARD DETAIL R-11 AND SHALL CONTAIN DOWELS OR SHALL BE KEYS WITH THE BARS.
- EXPANSION JOINTS SHALL BE THICKENED EDGE IN ACCORDANCE WITH DPW STANDARD DETAIL R-11. THE EXPANSION JOINTS AT THE DRIVEWAY, LOADING RAMP AND WAREHOUSE RAMP SHALL BE THE THICKENED EDGE.
- IN AREAS INACCESSIBLE TO THE SAW CUTTING MACHINE, USE HAND TOOLS TO FORM THE CONTRACTION JOINT TO A DEPTH OF 1/3 OF THE THICKNESS OF THE PAVEMENT, SIDEWALK, GUTTER AND CURB.



**2 CONC. PAVEMENT**  
SCALE: NOT TO SCALE

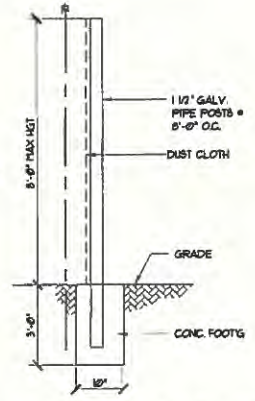


**1 CONC. PAVEMENT PENETRATION DETAIL**  
SCALE: NOT TO SCALE

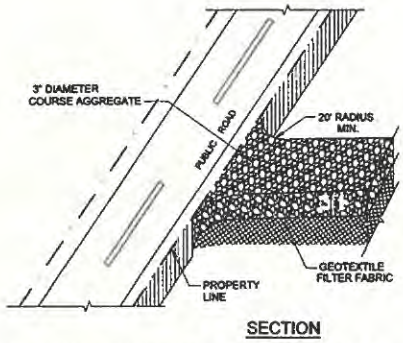


- NOTES:**
- FOR SLOPE GRADIENT LESS THAN 4:1, ANCHORING IS NOT REQUIRED.
  - COMPOST SHALL NOT CONTAIN BIO SOLIDS AND SHOULD BE CONSISTENT WITH EPA GUIDELINES.

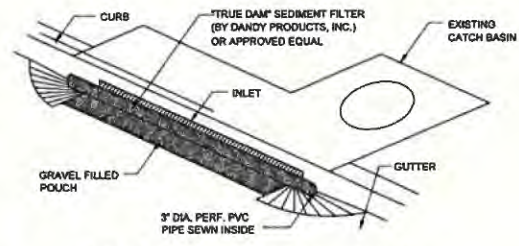
**4 BIOSOCKS DETAIL**  
SCALE: NOT TO SCALE



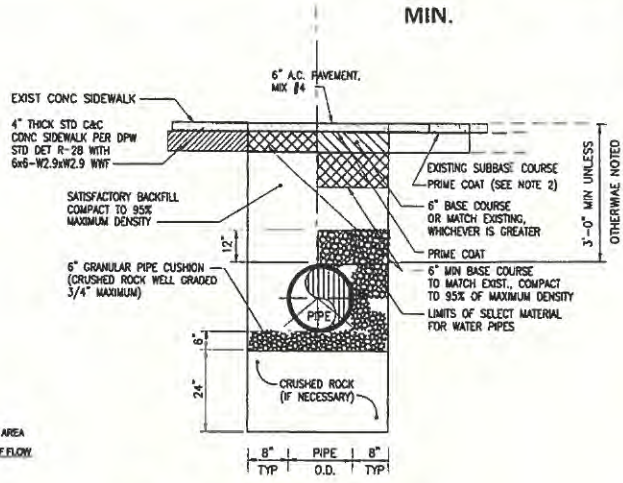
**5 DUST CLOTH DETAIL**  
SCALE: NOT TO SCALE



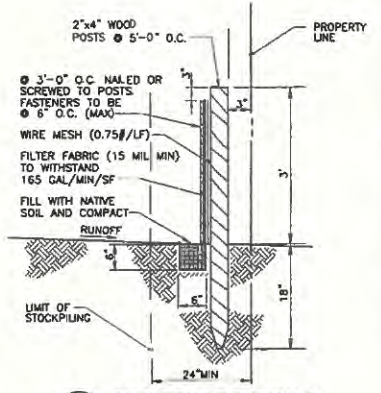
**6 CONSTRUCTION ACCESS DETAILS**  
SCALE: NOT TO SCALE



**7 CATCH BASIN PROTECTION**  
SCALE: NOT TO SCALE



**3 TYPICAL TRENCH DETAIL**  
SCALE: NOT TO SCALE



**8 SILT FENCE DETAILS**  
SCALE: NOT TO SCALE

**DELTA ENGINEERING**  
HUGH RESIDENCE  
1180 PANDA DR. HONOLULU HI 96817  
PHONE: 832-1234 FAX: 86816  
HONOLULU HI 96817  
TEL: 334-1234 FAX: 373-1234

TYPICAL CIVIL DETAILS-1

Project No: \_\_\_\_\_  
Date: 4/6/22  
Drawn: FK/BK

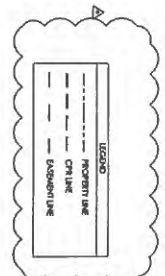
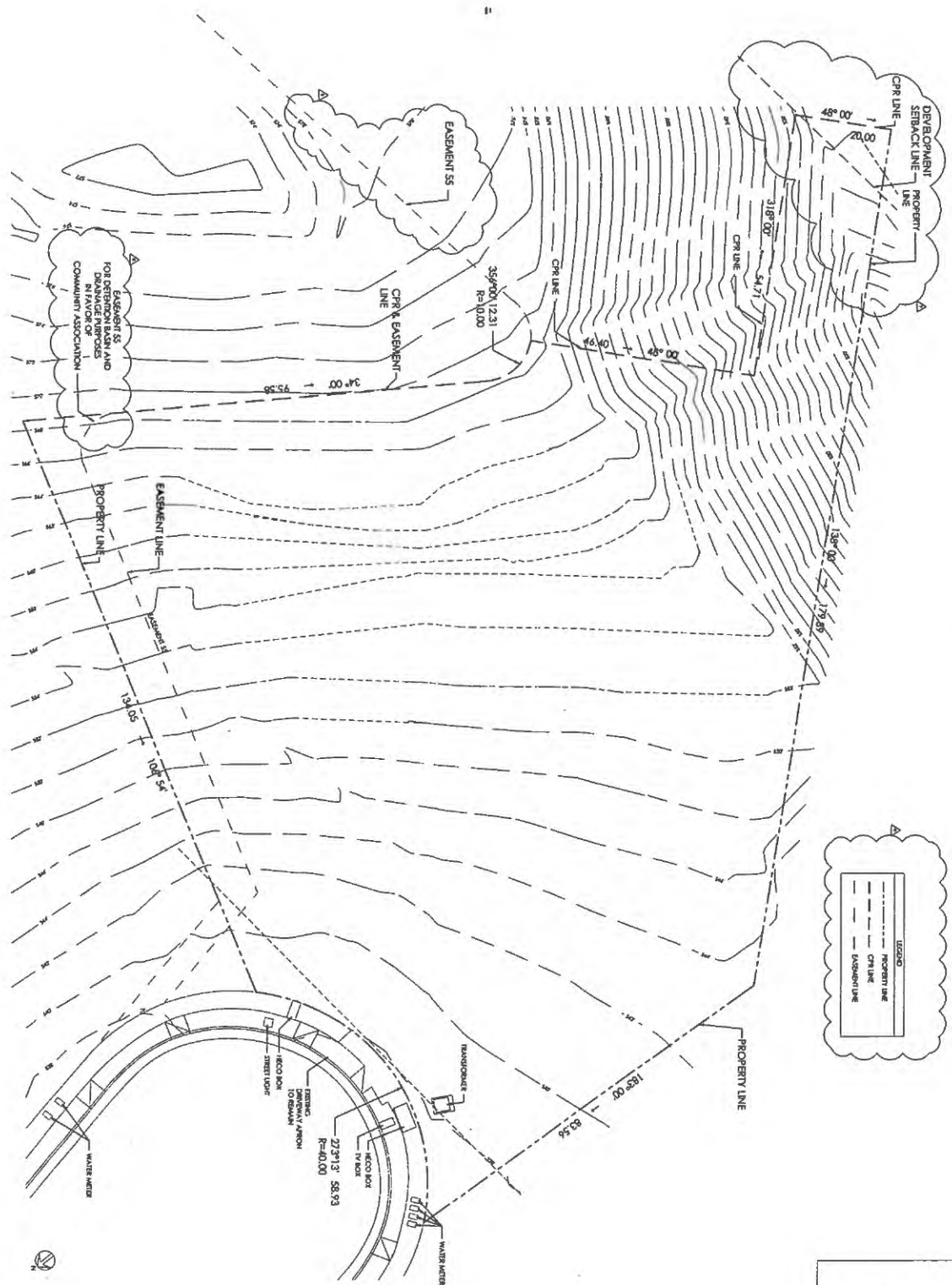


**DELTA ENGINEERING**  
GEORGE LEWIS ARCHITECT INC.  
322 OLD HALE ROAD  
HONOLULU, HI 96817  
PHONE: 832-1234  
FAX: 86816

Drawing No: **C003**

**1** EXISTING SITE CONDITION

SCALE: 1"=40'



PLANNING PERMITS  
 1500 PUNI DRIVE, SUITE 100  
 HONOLULU, HAWAII 96814  
 TEL: 361-1899 FAX: 373-1972  
 WWW.DELTA-ENGINEERING.COM

Ordering No.  
**C101**

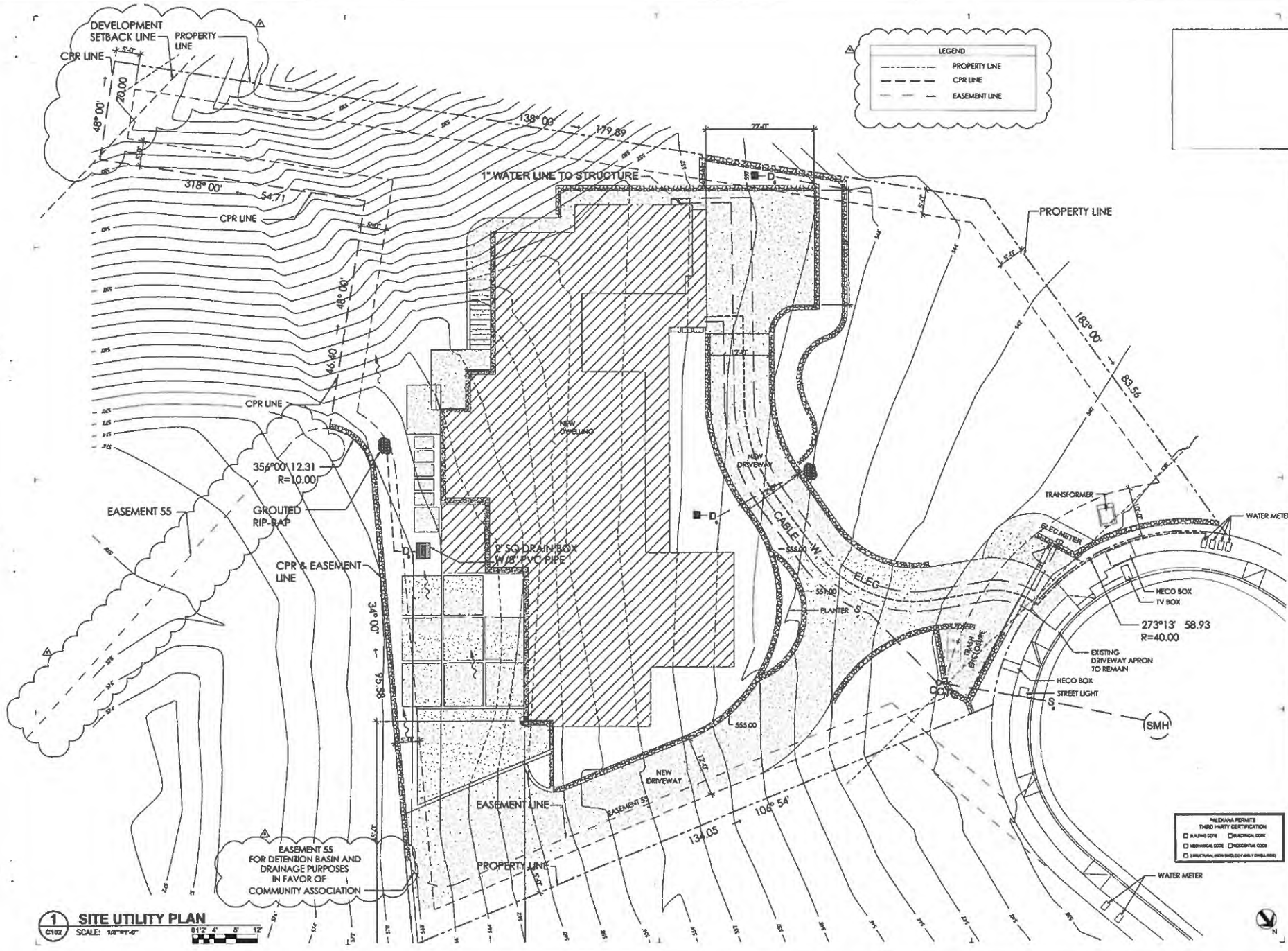
**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 3927 OLD PALI ROAD  
 HONOLULU, HI 96817  
 P (808) 595-8046  
 F (808) 595-2061



Project No. \_\_\_\_\_  
 Date: 4/8/22  
 Drawn: FV/BK  
 Title: EXISTING SITE PLAN

**HUGH RESIDENCE**  
 55 IPUU PAKA DR, HONOLULU HI 96817  
 TALK: 2-2-047-0720

**DELTA ENGINEERING**  
 PO BOX 181235  
 HONOLULU, HAWAII, 96818  
 TEL: 361-1899 373-1972  
 email: bddm@deltae.com



**LEGEND**

- PROPERTY LINE
- - - CPR LINE
- - - EASEMENT LINE

**DELTA ENGINEERING**  
 1000 PAAKA DR. HONOLULU HI 96817  
 TEL. 341-1999 FAX. 373-8780

**HUGH RESIDENCE**  
 1000 PAAKA DR. HONOLULU HI 96817  
 DATE: 2/20/2020

Author: [blank] By: [blank] Date: [blank]  
 Drawn: [blank] Check: [blank] Date: [blank]

**NEW SITE PLAN**

Title: [blank]  
 Project No.: [blank]  
 Date: 4/6/22  
 Drawn: FK/BK

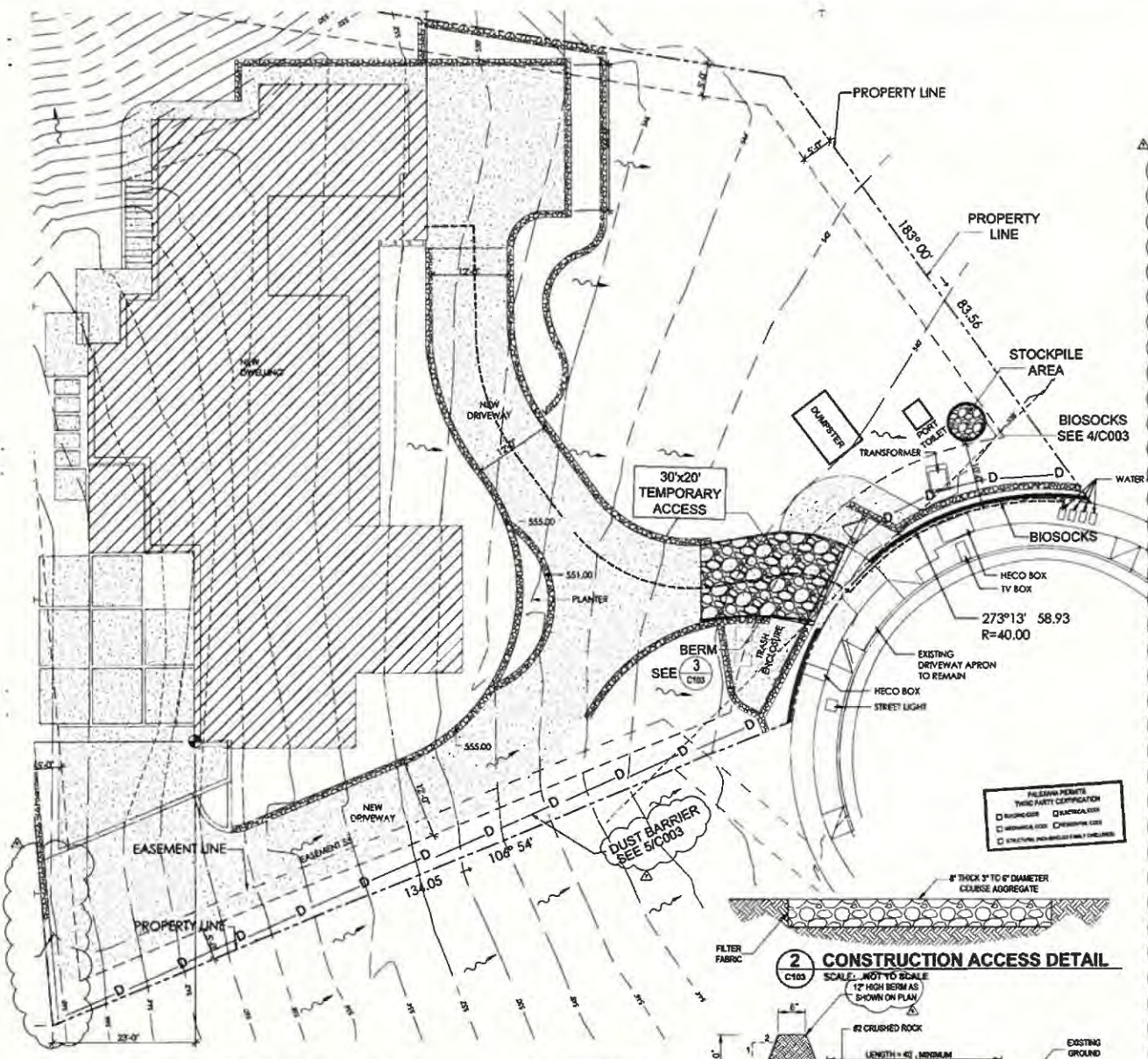


**GLA**  
**GEORGEY LEWIS ARCHITECT INC.**  
 2922 OLD PALM ROAD  
 HONOLULU, HI 96817  
 F: 808-575-2061

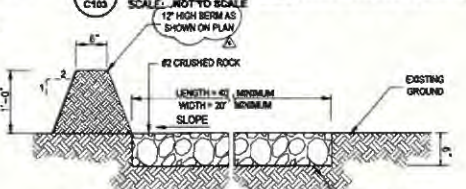
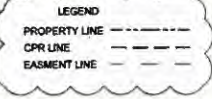
- PERMANENT THIRD PARTY CERTIFICATION**
- BALANCE SHEET
  - MECHANICAL CODE
  - ELECTRICAL CODE
  - STRUCTURAL WITH BUILDING DEPARTMENT

**1 SITE UTILITY PLAN**  
 SCALE: 1/8"=1'-0"  
 0 1" 2" 4" 8" 12"

Drawing No. **C102**



**1 EROSION AND SEDIMENT CONTROL PLAN**  
 C103 SCALE: 1/8"=1'-0"  
 DATE: 4/17/22



**BMP SUMMARY**

- 1. EROSION PREVENTION BMPs:** practices that prevent erosion from occurring.  
**1. Permanent Stabilization (REQUIRED)**  
 Prior to closing of any permits permanent stabilization must be in place which includes the following requirements:  
 • All disturbed areas must be permanently stabilized with ground covering such as vegetation, gravel, or pavers;  
 • Rain gutters, downspouts, and Surface flows must be installed and functioning as designed;  
 • In seeded areas, grass or vegetation must cover at least 90 percent of the disturbed soils or must be temporary stabilized while it is growing;  
 • Temporary measures, such as sediment barriers, should be removed when permanent measures are in place;  
 • All paved surfaces must be clean; and  
 • Storm drain inlet filters must be removed after all cleanup activities have been completed.
- 2. Slope Management and Protection**  
 To find the slope, divide the vertical height of your slope by the horizontal length of your slope and multiply by 100. For example, if your slope measures 3 feet vertically, and 10 feet horizontally, your slope would be 3 / 10 X 100=30%.
1. Rolled erosion control products   
 2. Hydraulic mulch or hydroseed   
 3. Hydraulic or bonded fiber mats   
 4. Planting and/or vegetation providing at least 70% surface cover   
 5. Other (please specify)  VBI Not Use
- If this BMP will not be used, provide brief explanation: \_\_\_\_\_
- 3. Temporary Stabilization ( )**  
 Use one or more of the following to protect disturbed areas that will not be worked on within 14 days: Check if will be used:  
 1. Rolled erosion control products   
 2. Hydraulic mulch or hydroseed   
 3. Hydraulic or bonded fiber mats   
 4. Planting and/or vegetation providing at least 70% surface cover   
 5. Other (please specify)  VBI Not Use
- 4. Stockpile Management ( )**  
 Locate stockpiles away from drainage ways or other areas of concentrated flow. Use a berm around stockpiles and cover if they will not be actively used within seven (7) days.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use
- 5. Velocity Dissipation Device ( )**  
 \_\_\_\_\_  VBI Use  VBI Not Use
- 6. Vehicle Tracking Control ( )**  
 Restrict vehicle traffic to properly designated areas and remove sediment from vehicle tires prior to exiting the project site. All sediments that are tracked or discharged off-site must be swept or vacuumed at the end of each day.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use
- 7. Material Delivery, Storage and Use Management ( )**  
 Minimize the storage of potential pollutants onsite, store materials in a designated area, and install secondary containment. Do not store materials in buffer areas, near areas of concentrated flow, or areas abutting the City storm drainage system, receiving waters, or drainage improvements that discharge off-site.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use
- 8. Spill Prevention and Control ( )**  
 Keep onsite supply of cleanup materials onsite. Clean up spills immediately, using dry clean-up methods where possible, and dispose of used materials properly.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use
- 9. Solid Waste Management ( )**  
 Provide designated waste collection areas for solid waste or construction and demolition waste. Collect trash daily, and dispose at authorized disposal areas.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use
- 10. Portable Toilets (Sanitary) / Septic Waste Management ( )**  
 Temporary and portable sanitary and septic waste systems shall be installed or stated in, well-maintained and scheduled for regular waste disposal and servicing.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use
- 11. Liquid Waste Management BMPs ( )**  
 Contain liquid wastes in a holding pit, sediment basin, roll-off bin, or portable tank of sufficient volume to contain the liquid wastes generated.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use  
 NO LIQUID WASTE EXPECTED
- 12. Concrete Waste Management BMPs ( )**  
 Contain liquid wastes in a holding pit.  VBI Use
- 13. Vehicle and Equipment Cleaning, Fueling, and Maintenance ( )**  
 Prevent pollutants in storm water from vehicle and equipment cleaning, fueling and maintenance by using off-site facilities when feasible, performing work in designated areas only, using spill pads under vehicles and equipment, checking for leaks and spills, and containing and cleaning up spills immediately.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use  
 NO CLEANING & MAINTENANCE WILL BE ALLOWED
- 14. Hazardous Waste Management ( )**  
 Prevent or reduce the discharge of pollutants to storm water from hazardous waste through proper material use and waste disposal.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use  
 NO HAZARDOUS WASTE EXPECTED
- 15. Contaminated Soil Management ( )**  
 Contain contaminated material soil by surrounding with impermeable lined berms or cover exposed contaminated material with plastic sheets. Contaminated soil should be disposed of properly in accordance with all applicable regulations.  
 If this BMP will not be used, provide brief explanation: \_\_\_\_\_  VBI Use  VBI Not Use  
 NO CONTAMINATED SOIL EXPECTED
- 16. Demolition operation BMPs ( )**  
 NO WATER IS EXPECTED  VBI Not Use

**DELTA ENGINEERING**  
 101 SOUTH PACIFIC DR. HONOLULU HI 96813  
 TEL: 348-1199 FAX: 348-1257  
 WWW.DELTAENGINEERING.COM

**HUGH RESIDENCE**  
 1551 SOUTH PACIFIC DR. HONOLULU HI 96817  
 DATE: 2-24-2022

**EROSION AND SEDIMENT CONTROL PLAN AND DETAILS**

Project: 4/4/22  
 Sheet: FE/BK

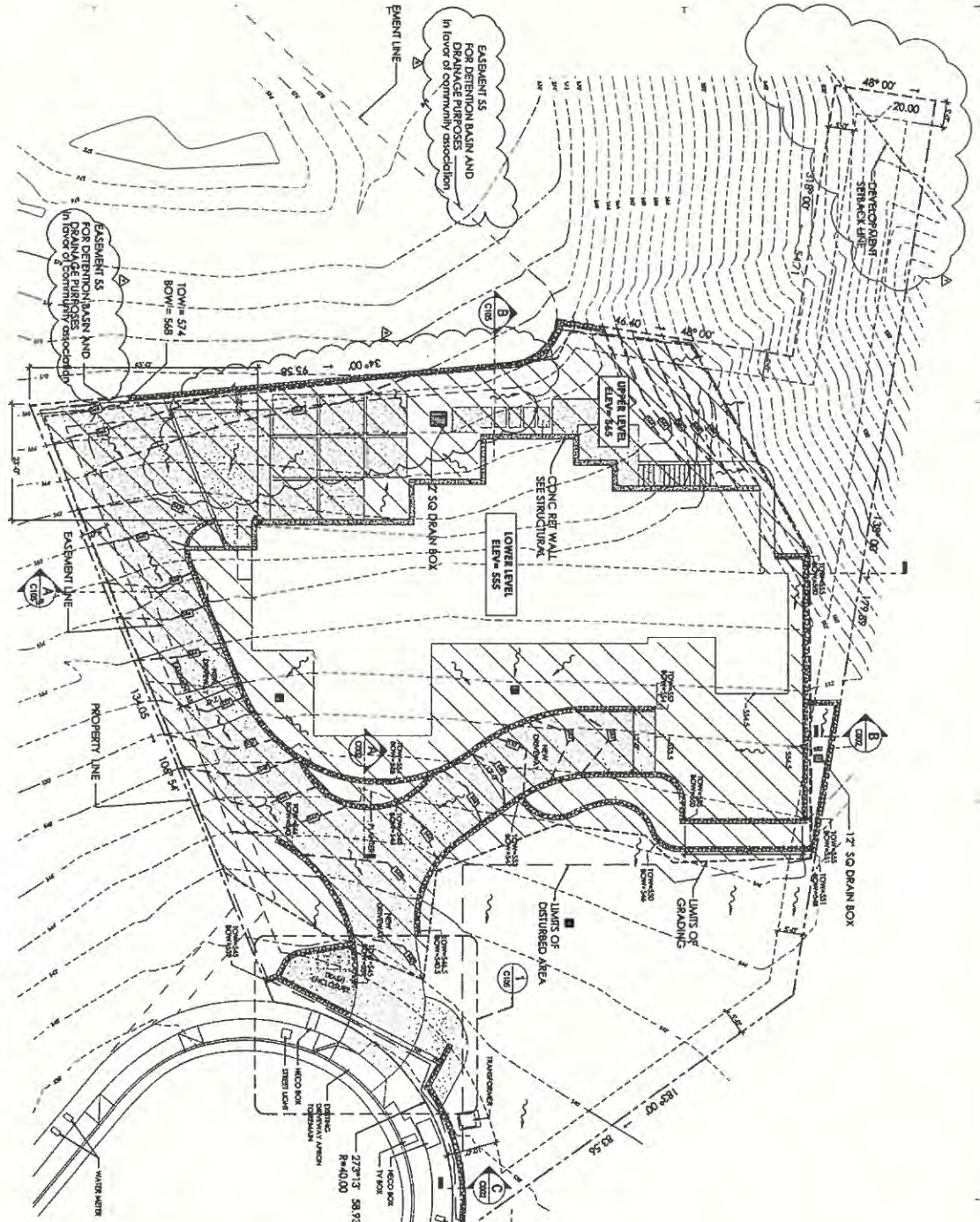
**DELTA ENGINEERING**  
 LICENSED PROFESSIONAL ENGINEER  
 State of Hawaii  
 License No. 10000

**DELTA ENGINEERING**  
 GEORGE LEWIS ARCHITECT INC.  
 101 SOUTH PACIFIC DR.  
 HONOLULU HI 96817

**C103**



**1 SITE GRADING PLAN**  
 C104 SCALE: 1" = 10'-0"



**EARTHWORK QUANTITIES**

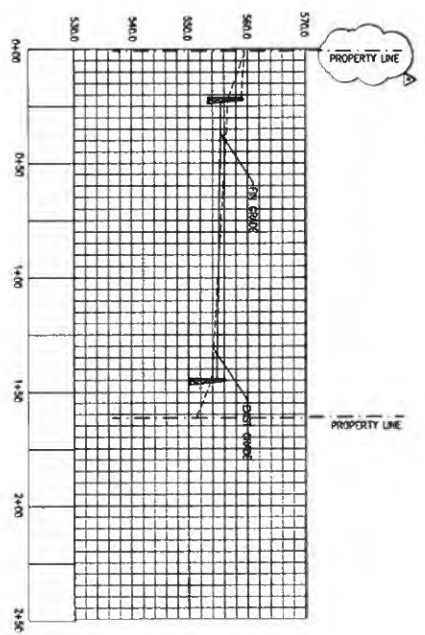
1. GRADED AREA = 6250 sf
2. DISTURBED AREA = 12250 sf
3. FILL = 120 cy
4. CUT = 375 cy

**GRADING WORK LEGEND**

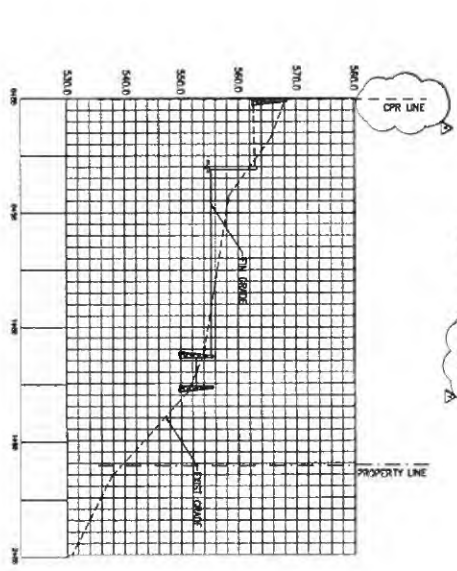
	SURFACE SWALE / WATERFLOW
	EXISTING GRADE
	FIN GRADE
	GRADED AREA
	NEW CRM WALL
	NEW CONCRETE WORK

**MAJOR QUANTITIES**  
 THIS PLAN CERTIFICATION  
 IS BASED ON THE ASSUMPTIONS  
 LISTED ON SHEET C102

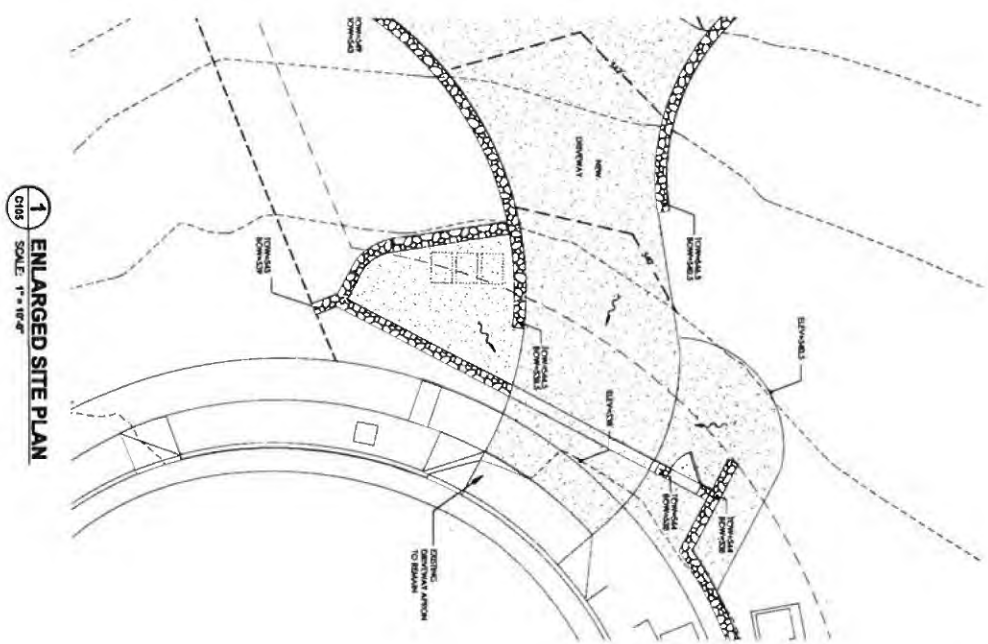
<b>C104</b> GEOFFREY LEWIS ARCHITECT, INC. 3772 OLD PAHI ROAD HONOLULU, HI 96817 P: (808) 595-4046 F: (808) 595-2041		<b>SITE GRADING PLAN</b> DATE: 4/6/22 DRAWN BY: FJ/BR	<b>HUGH RESIDENCE</b> 1777 PAKA DR., HONOLULU HI 96817 TMC: 2-2-047-020	<b>DELTA ENGINEERING</b> PO BOX 181255 HONOLULU, HAWAII 96818 TEL 551-1998 373-1872(f) email: bobman@deltaeng.com
		PROJECT NO. 181255 SHEET NO. 1 OF 2 DATE: 4/6/22	APPROVED BY: [Signature] TITLE: [Title]	APPROVED BY: [Signature] TITLE: [Title]



**A SECTION**  
 CHS SCALE: H: 1"=4'-0" V: 1"=1'-0"



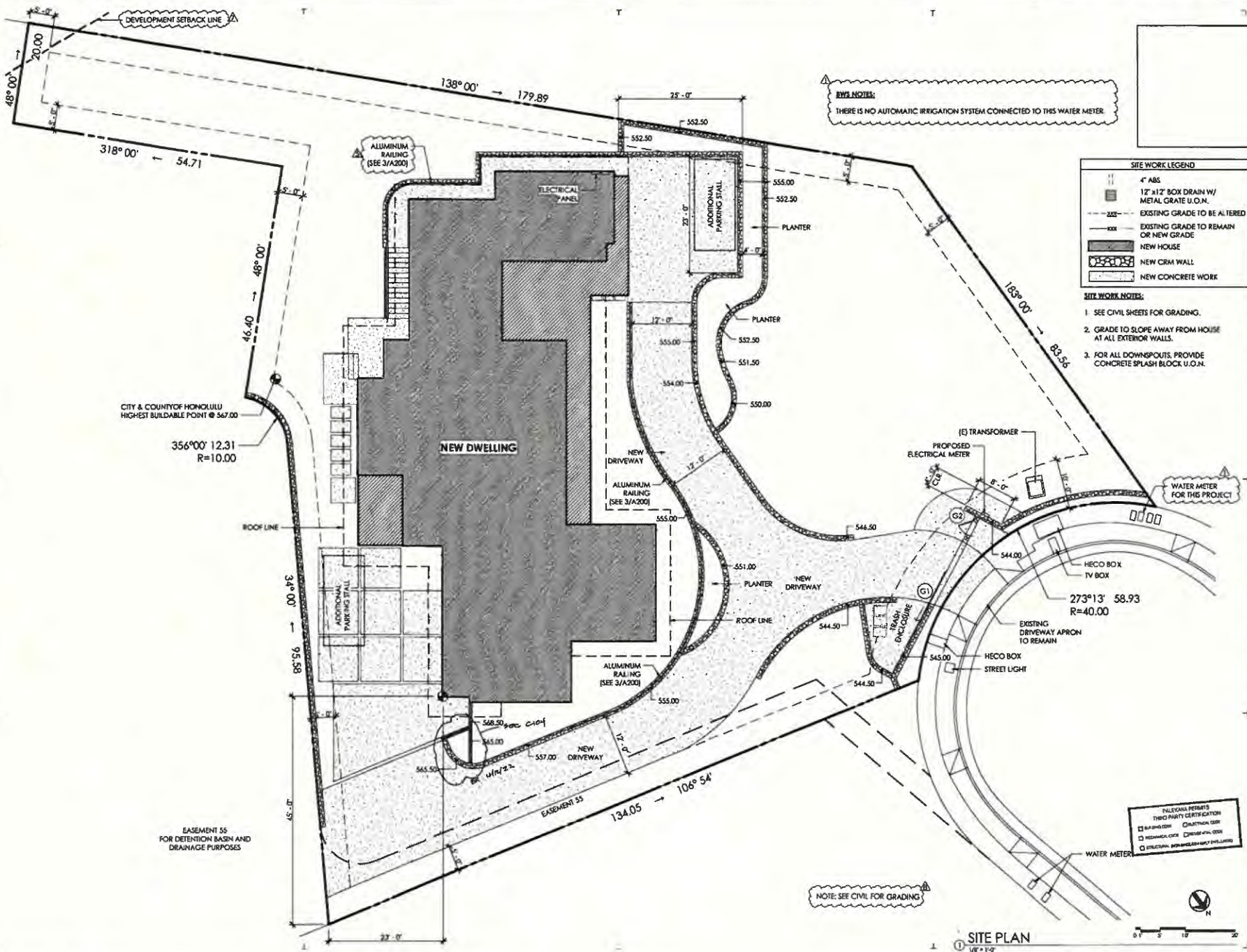
**B SECTION**  
 CHS SCALE: H: 1"=4'-0" V: 1"=1'-0"



**1 ENLARGED SITE PLAN**  
 CHS SCALE: 1"=10'-0"

NOTES:  
 1. HARD HAT REQUIRED ON ALL SITES.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HAWAIIAN ZONING ORDINANCES.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HAWAIIAN CONSTRUCTION CODES.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HAWAIIAN ELECTRICAL CODES.

<b>C105</b>	<b>GLA</b> GEOFFREY LEWIS ARCHITECT, INC. 2927 OLD PALM ROAD, HONOLULU, HI 96817 P(808) 595-4044 F(808) 595-2061		<b>SECTION AND DETAILS</b> Project No. 416/72 Date: 4/6/72 Drawn: FJ/IK	<b>HUGH RESIDENCE</b> 51 PULU FAKA DR. HONOLULU HI 96817 TME: 2-2-047-020	<b>DELTA ENGINEERING</b> PO BOX 181255 HONOLULU, HAWAII, 96816 TEL 584-1988 373-18707 email delta@hawaii.net
-------------	---	--	--	---	--



**HWY NOTES:**  
THERE IS NO AUTOMATIC IRRIGATION SYSTEM CONNECTED TO THIS WATER METER.

**SITE WORK LEGEND**

	4" ABS
	12" x 12" BOX DRAIN W/ METAL GRATE U.O.N.
	EXISTING GRADE TO BE ALTERED
	EXISTING GRADE TO REMAIN OR NEW GRADE
	NEW HOUSE
	NEW CURB WALL
	NEW CONCRETE WORK

- SITE WORK NOTES:**
- SEE CIVIL SHEETS FOR GRADING.
  - GRADE TO SLOPE AWAY FROM HOUSE AT ALL EXTERIOR WALLS.
  - FOR ALL DOWNSPOUTS, PROVIDE CONCRETE SPLASH BLOCK U.O.N.

**HUGH RESIDENCE**  
3151 PUU PAKA DR., HONOLULU HI 96817  
TMK: 2-2-047:020

Revision	By	Date
1	EVN	04/12/21
2	RES COOK	04/14/21
7	CKR	04/14/21
8	CKR	04/14/21

Title: **SITE PLAN**  
Project No.:  
Date: **4/16/21**  
Drawn: **CH**



ALLIANCE PROJECT THIRD PARTY CERTIFICATION  
 ARCHITECTURE  
 MECHANICAL/ELECTRICAL/PLUMBING  
 CIVIL/STRUCTURAL  
 LANDSCAPE ARCHITECTURE  
 INTERIOR DESIGN  
 ENVIRONMENTAL/GEOTECHNICAL/GEOPHYSICAL

**GEORFFREY S. LEWIS ARCHITECT, INC.**  
P (808) 595-6444  
F (808) 595-2041  
3972 OLD PALU ROAD  
HONOLULU, HI 96817

Drawing No.: **A001**  
**REVISED PRINT**

NOTE: SEE CIVIL FOR GRADING

**SITE PLAN**  
1/8" = 1'-0"



CITY & COUNTY OF HONOLULU  
HIGHEST BUILDABLE POINT @ 547.00

356°00' 12.31  
R=10.00

EASEMENT 55  
FOR DETENTION BASIN AND  
DRAINAGE PURPOSES

WATER METER  
FOR THIS PROJECT

WATER METER

273°13' 58.93  
R=40.00

EASEMENT 55  
134.05 → 106° 54'

138° 00' → 179.89

183° 00' → 83.56

318° 00' → 54.71

48° 00' → 20.00

ROOF LINE

ROOF LINE

NEW DWELLING

NEW DRIVEWAY

NEW DRIVEWAY

ALUMINUM RAILING [SEE 3/A/200]

ALUMINUM RAILING [SEE 3/A/200]

ELECTRICAL PANEL

ADDITIONAL PARKING STALL

ADDITIONAL PARKING STALL

(S) TRANSFORMER  
PROPOSED ELECTRICAL METER

HECO BOX  
TV BOX

HECO BOX  
STREET LIGHT

EXISTING DRIVEWAY APRON TO REMAIN

HECO BOX

WATER METER

NEW DRIVEWAY

NEW DRIVEWAY

NEW DRIVEWAY

NEW DRIVEWAY

NEW DRIVEWAY

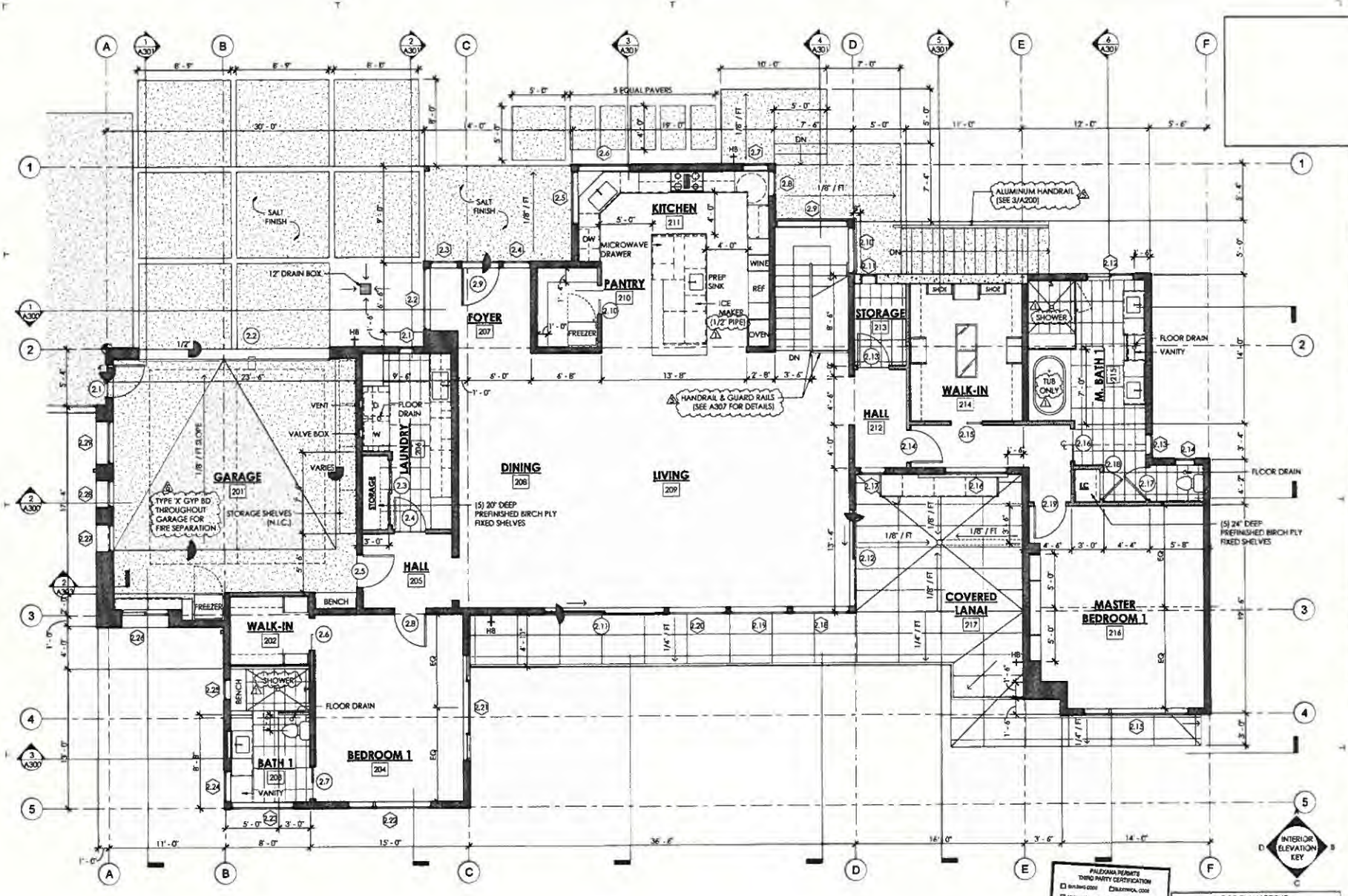
NEW DRIVEWAY

NEW DRIVEWAY

NEW DRIVEWAY

NEW DRIVEWAY

NEW DRIVEWAY



UPPER FLOOR PLAN  
1/8" = 1'-0"

FLOOR PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	NEW & WALLS
	NEW & WALLS
	NEW STONE CLAD WALL
	AREA OF NEW SLAB - SEE STRUCTURAL

FLOOR PLAN LEGEND	
	INTERIOR ELEVATION KEY

FLOOR PLAN LEGEND	
	PLUMBING FIXTURES
	TRIM PARTY CONNECTION
	MECHANICAL CODE
	MECHANICAL CODE
	STRUCTURAL, NON-FIRE RATED PRECAST

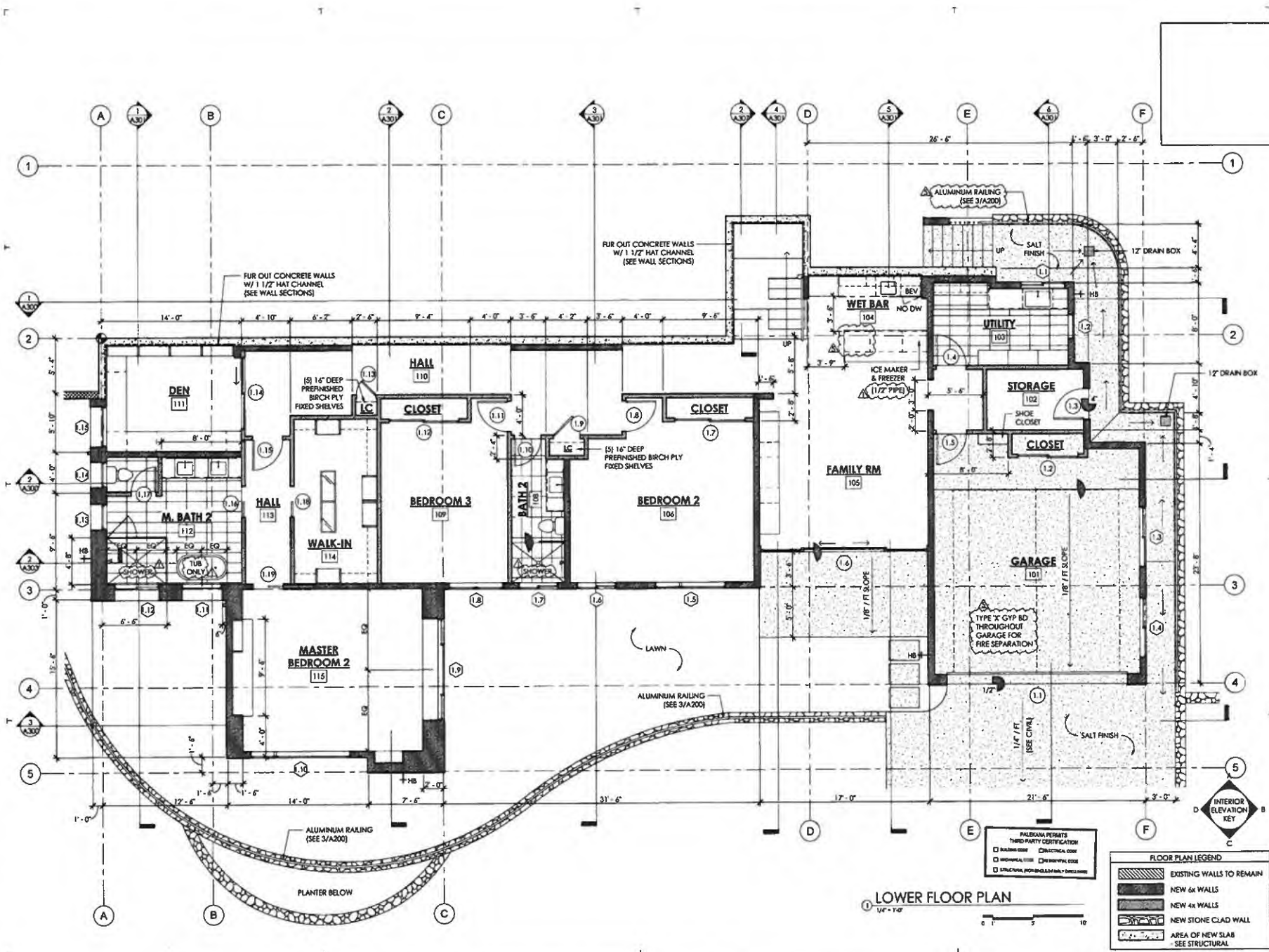
**HUGH RESIDENCE**  
3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

Revision	By	Date
1	GLA	3/17/21
2	GLA	4/16/21
3	CH	4/16/21



**GLA**  
GREGORY J. LEWIS ARCHITECT INC.  
2025 OLD HALE ROAD  
HONOLULU, HI 96817  
PHONE: 954-9444  
FAX: 954-9601

Drawing No. **A100**



1 LOWER FLOOR PLAN  
1/4" = 1'-0"

- PALEKANA PERMITS  
THIRD PARTY CERTIFICATION
- WALLING CODE
  - ELECTRICAL CODE
  - MECHANICAL CODE
  - MECHANICAL CODE
  - STRUCTURAL CODE
  - STRUCTURAL CODE

- FLOOR PLAN LEGEND
- EXISTING WALLS TO REMAIN
  - NEW 6x WALLS
  - NEW 4x WALLS
  - NEW STONE CLAD WALL
  - AREA OF NEW SLAB  
SEE STRUCTURAL

# HUGH RESIDENCE

3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

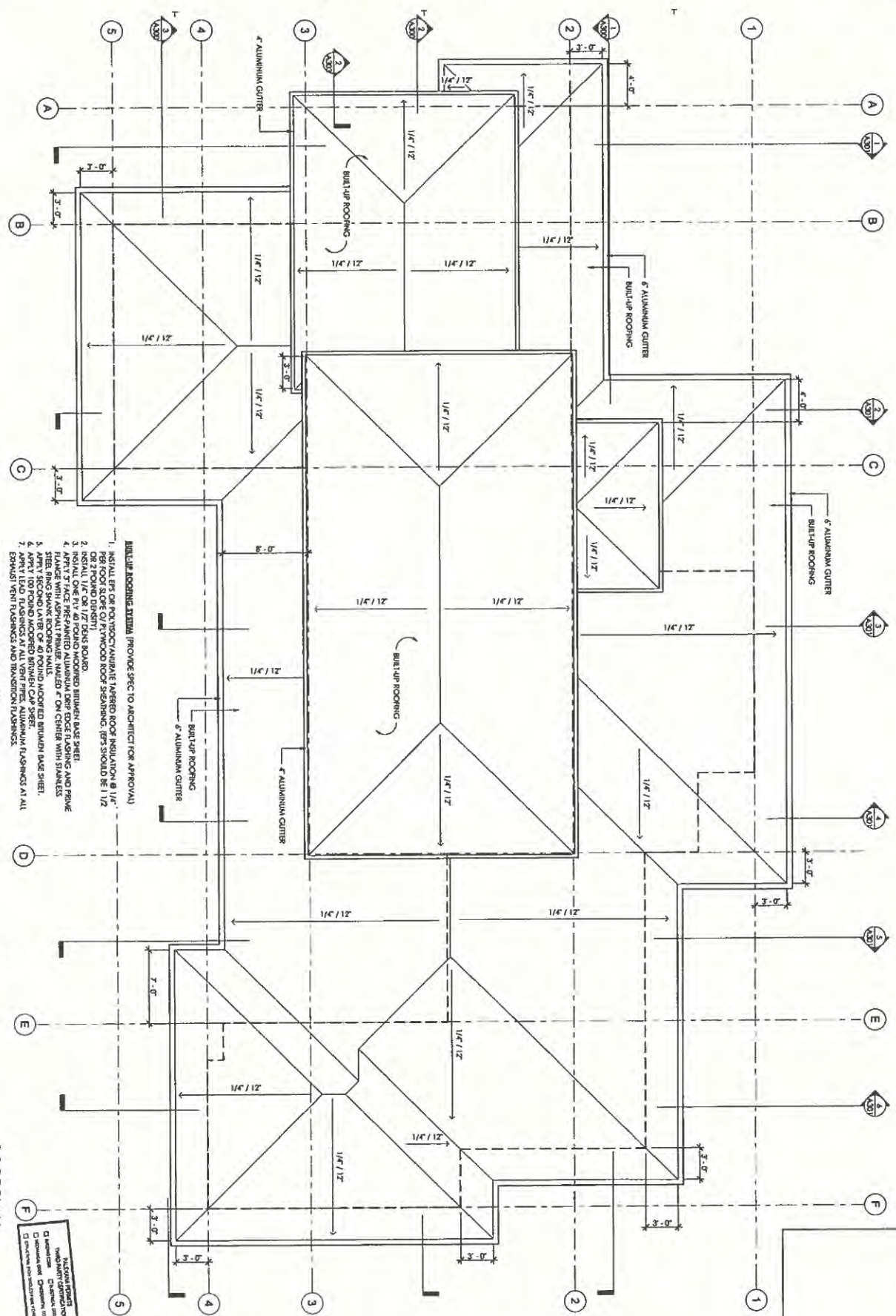
Revision:	By:	Date:
1	CH	4/16/21
2	CH	4/16/21

LOWER FLOOR PLAN  
Date: 4/16/21  
Drawn: CH



GEOFFREY & LEWIS ARCHITECTS, INC.  
1000 KALANANAKUHIWA DRIVE, SUITE 1000  
HONOLULU, HI 96817  
PH: 808-551-2001  
F: 808-551-2001

REVISED PRINT  
A101



- BUILT-UP ROOFING SYSTEM (PROVIDE SPEC TO ARCHITECT FOR APPROVAL)**
1. INSTALL 1/2" POLYISOCYANURATE TAPERED ROOF INSULATION @ 1/4" ON ROOF SLOPE OR 1/2" THICK ROOF SHEETING. IRPS SHOULD BE 1/2" OR THICKER.
  2. INSTALL 1/2" OR 1/2" DECK BOARD.
  3. APPLY ONE (1) LAYER OF 20 POUND MODIFIED BITUMEN BASE SHEET.
  4. APPLY 1/2" THICK PRE-FABRICATED GRANULES OR GRANULES AND PRIME STEEL SHANK ROOFING NAILS.
  5. APPLY SECOND LAYER OF 20 POUND MODIFIED BITUMEN BASE SHEET.
  6. APPLY 100 POUND MODIFIED BITUMEN PRIME FLANGES AT ALL EXHAUST VENT FLASHINGS AND TRANSDOM FLASHINGS.

- COOL ROOF OPTION (PAVING OR GREE) COLOR**
1. VERIFY ROOF INSULATIONS, TRANSDOMS WITH ACRYLIC ROOF COATING.
  2. APPLY ACRYLIC COATING PRIMER ON ENTIRE ROOF SURFACE.
  3. APPLY 2 COATS 595 SOLID, PREMIUM SILICONE ROOF COATING. MINIMUM 22 MILS THICK.

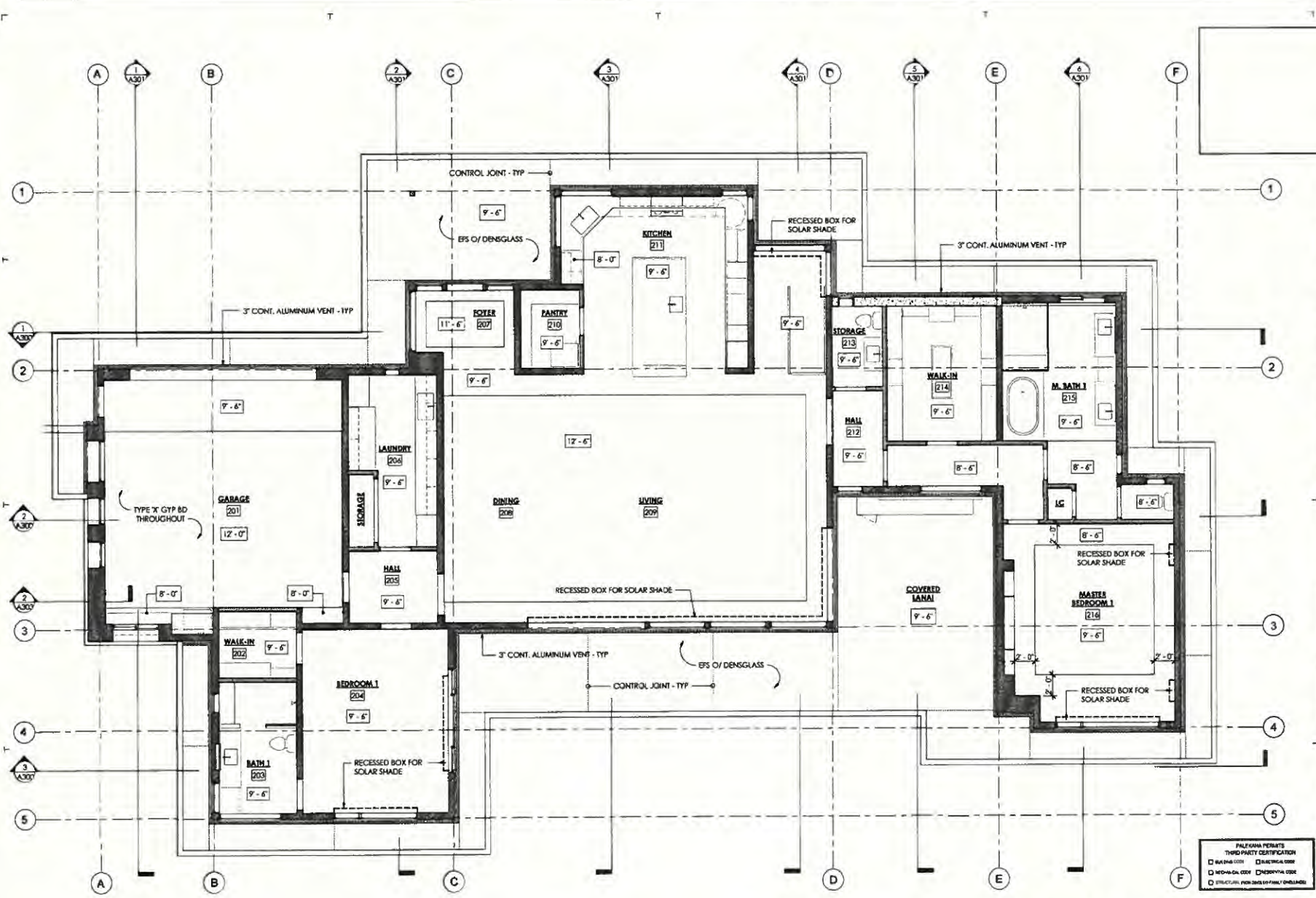
**NOTE**  
 ALL 3" DIA. ALUMINUM DOWNSPOUTS NEED TO BE HOOPED UP TO SUBPANS SYSTEM.  
 (SEE DETAIL 11/14007)

**ROOF PLAN**  
 1/4" = 1'-0"

**LEGEND**

- ▭ Mechanical
- ▭ Electrical
- ▭ Plumbing
- ▭ Fire Protection
- ▭ Other

<p><b>GLAI</b>          GEOFFREY LEWIS ARCHITECT, INC.          3922 OLD PALU ROAD          HONOLULU, HI 96817          P (808) 595-6044          F (808) 595-2061</p>		Title: <b>ROOF PLAN</b> Drawing No: 4116/21 Date: 4/16/21 CH	Project: <b>HUGH RESIDENCE</b> 35 PUU PAKA DR, HONOLULU HI 96817 TMK: 2-2-047:020
		Drawing No: <b>A102</b>	



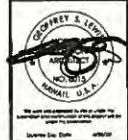
1 UPPER FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

FULLY PERMITS  
THIRD PARTY CERTIFICATION

<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> ELECTRICAL CODE
<input type="checkbox"/> MECHANICAL CODE	<input type="checkbox"/> MECHANICAL CODE
<input type="checkbox"/> STRUCTURAL PERMITS BY FAMILY OVERLAYS	

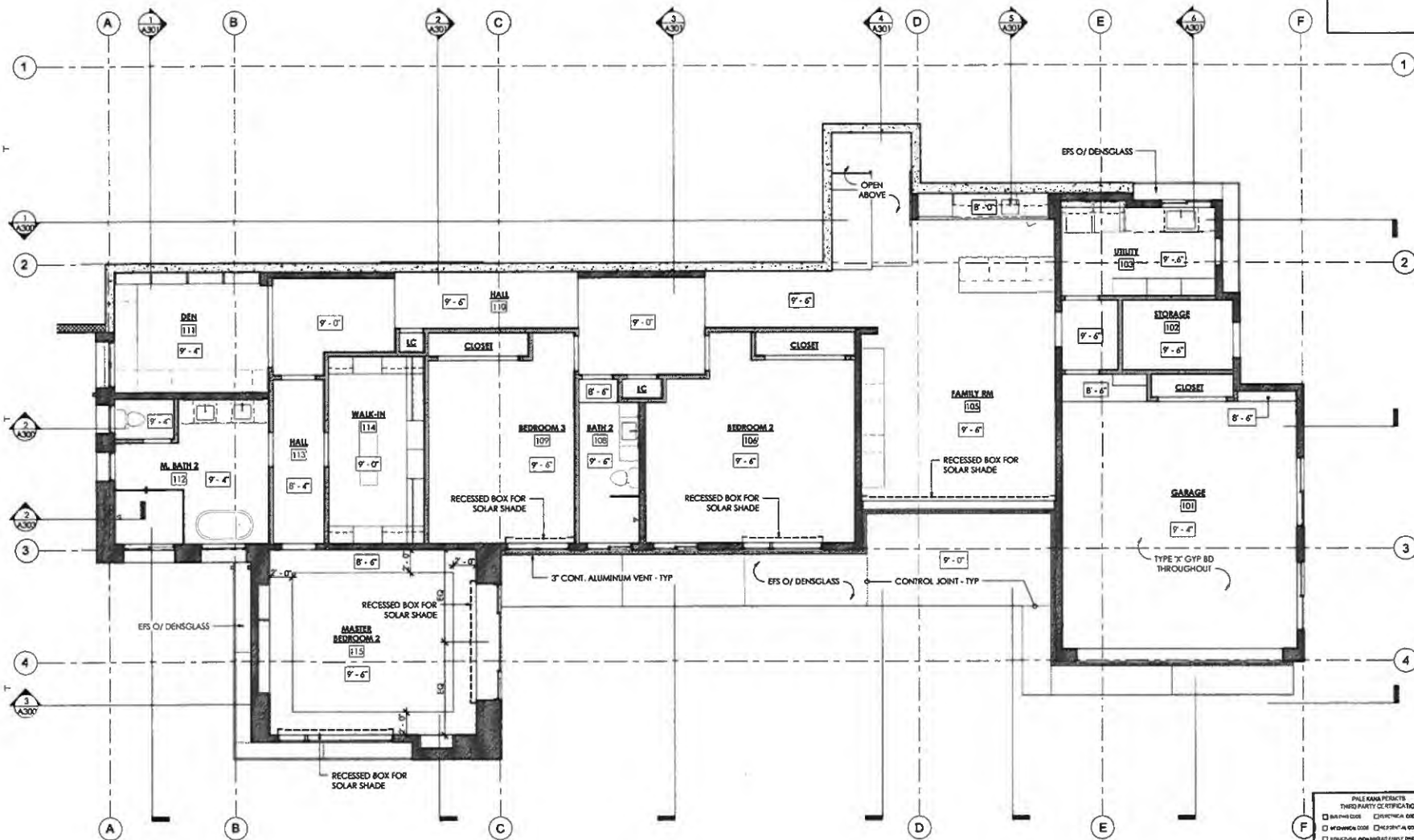
**HUGH RESIDENCE**  
 399 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

Revision: \_\_\_\_\_ by: \_\_\_\_\_ Date: \_\_\_\_\_  
 Project No.: \_\_\_\_\_  
 Date: 4/16/21  
 Drawn: CH



**GLAI**  
 GEOFFREY LEWIS ARCHITECT INC.  
 P 808 595 6044  
 3927 OLD PAU ROAD  
 HONOLULU HI 96817  
 F 808 595 2041

Drawing No. **A103**



PULL KANA PERICITS  
 THIRD PARTY CERTIFICATION  
 MECHANICAL CODE  
 ELECTRICAL CODE  
 MECHANICAL CODE  
 ELECTRICAL CODE  
 STRUCTURAL AND RELATED PARTY REQUIREMENTS

① LOWER FLOOR REFLECTED CEILING PLAN  
1/8" = 1'-0"



**HUGH RESIDENCE**  
 39 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

Revision by Date

LOWER FLOOR REFLECTED CEILING PLAN

Project No.  
 Date 4/16/21  
 Drawn CH



**GLA**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 P.O. BOX 585-0046  
 3927 OLD PALM ROAD  
 HONOLULU, HI 96817

Drawing No.

A104



REVISED PRINT

A200

GEORGET LEWIS ARCHITECT, INC.  
ARCHITECTS  
1410 KALANIANA'OLEHI BLVD., SUITE 200  
HONOLULU, HI 96817  
PHONE: 808-955-2001  
FAX: 808-955-2002



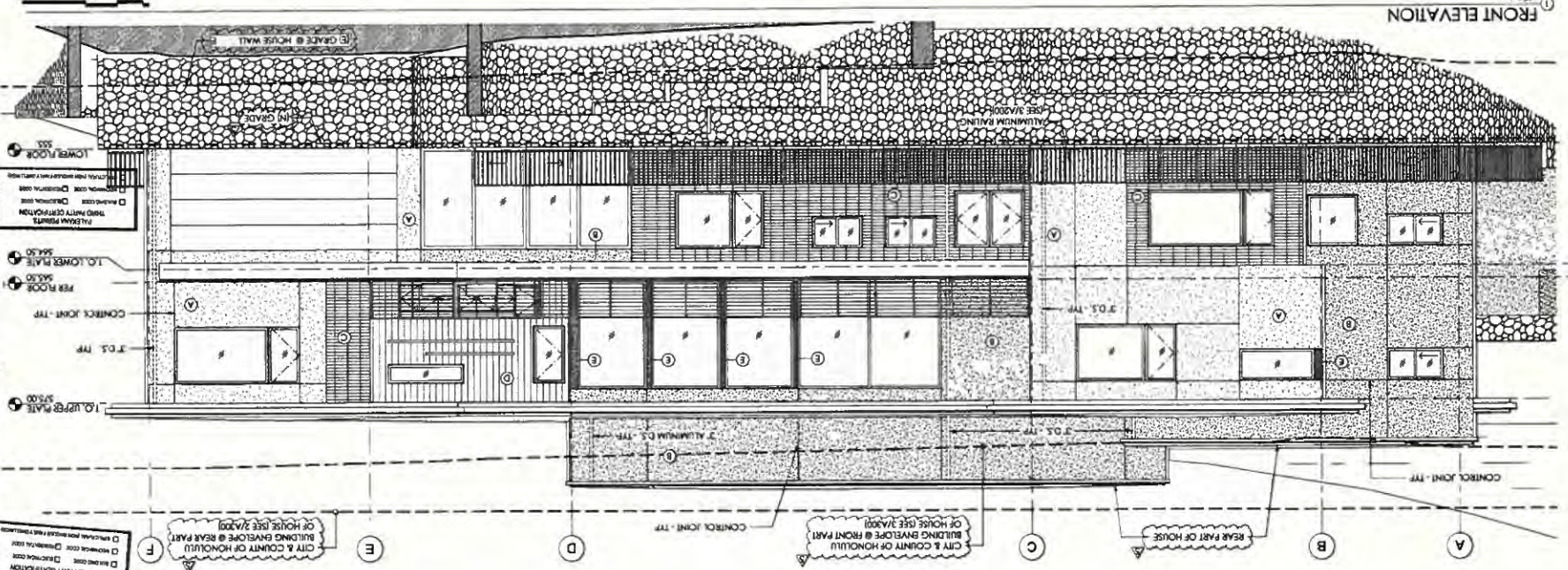
Client: CH  
Date: 4/16/21  
Project No. 19000

EXTERIOR ELEVATIONS

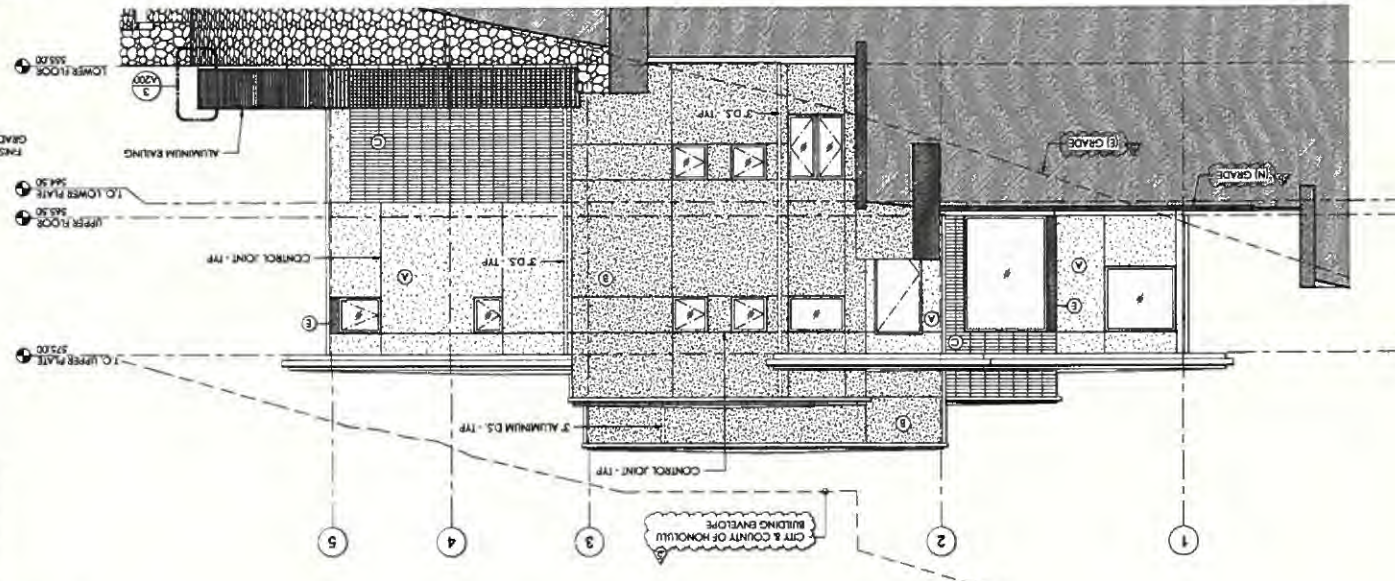
Sheet: 3 of 3  
Scale: 1/8" = 1'-0"

**HUGH RESIDENCE**  
31st PUA PAKA DR. HONOLULU HI 96817  
TMK: 2-2-047-020

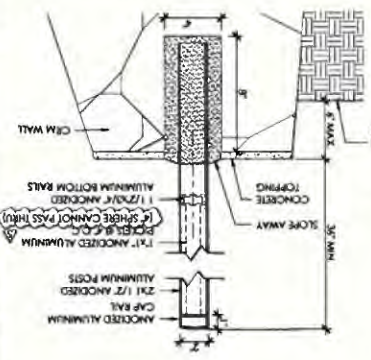
FRONT ELEVATION



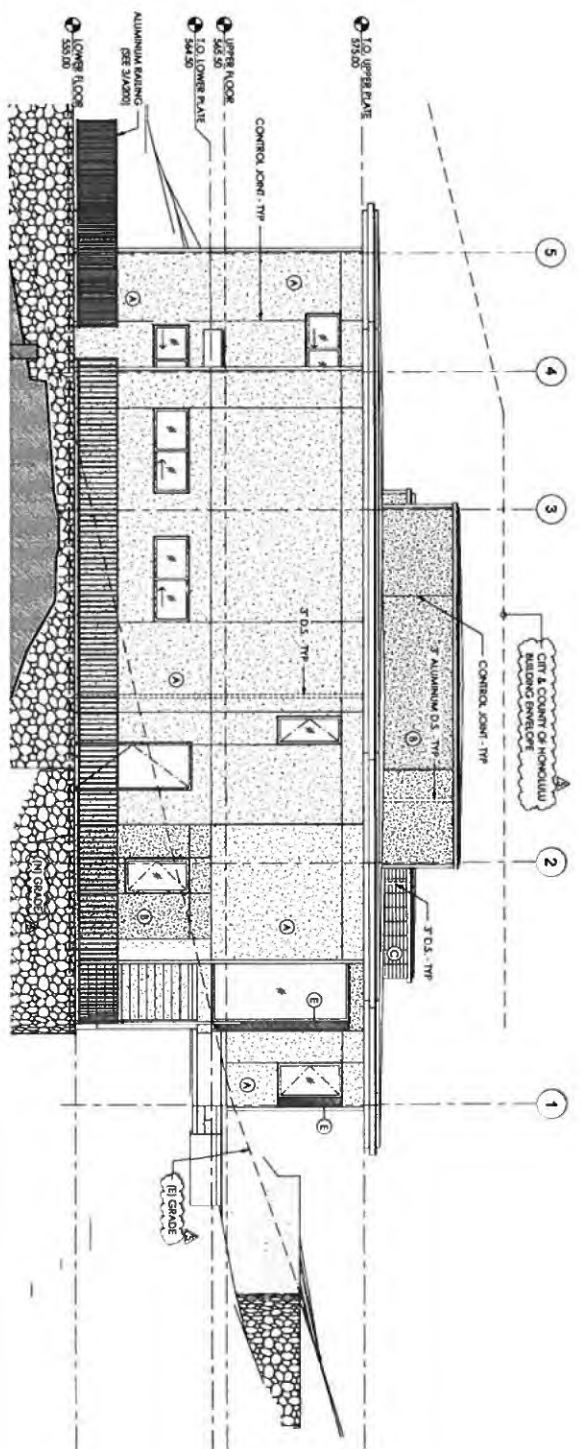
LEFT ELEVATION



RAILING DETAIL @ SITE CRM WALL



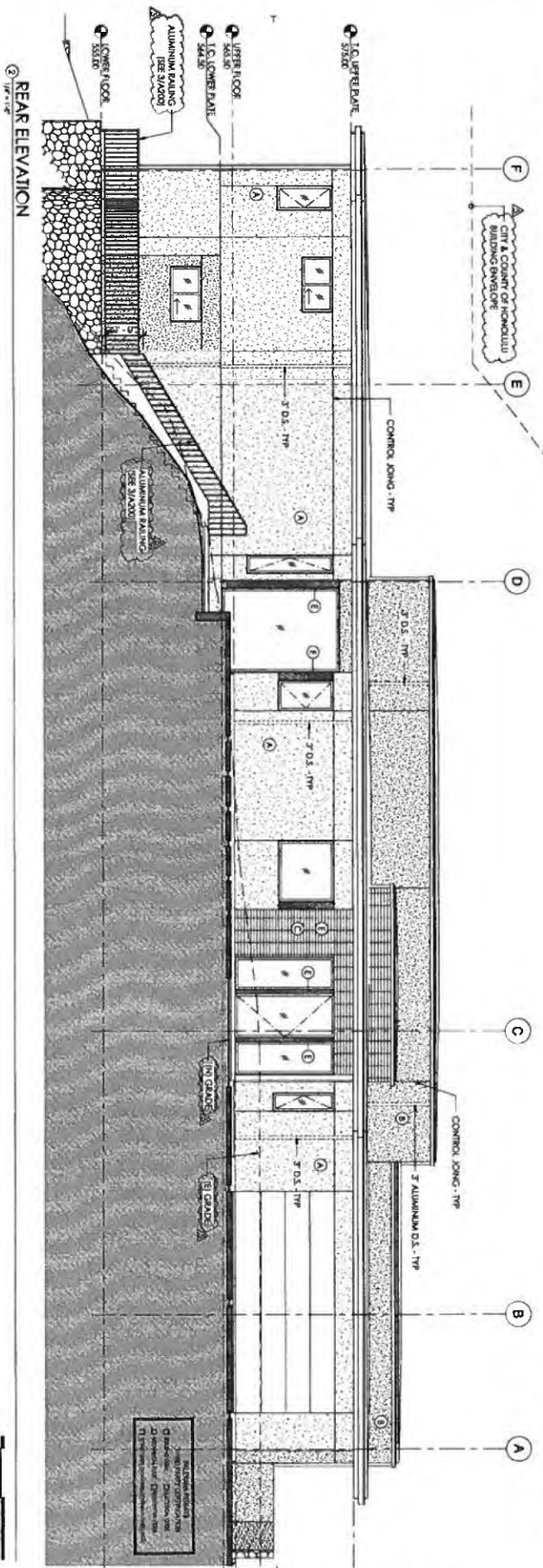
- SILING LEGEND
- (A) ES O/ DENGLASS - COLOR A
  - (B) ES O/ DENGLASS - COLOR B
  - (C) STONE / TILE
  - (D) ALUMINUM WOOD SIDING
  - (E) ALUMINUM TRIM
  - (F) MATCH WINDOW COLOR



RIGHT ELEVATION  
1/8" = 1'-0"

- SINGING LEGEND**
- ① BR OF BRICKGLASS - COLOR A
  - ② BR OF BRICKGLASS - COLOR B
  - ③ STONE / TILE
  - ④ ALUMINUM WOOD SINGING
  - ⑤ ALUMINUM TRIM
  - ⑥ MATCH WINDOW COLOR

- ALUMINUM FINISH**
- ① ANODIZED ALUMINUM
  - ② BRUSHED ALUMINUM
  - ③ POLISHED ALUMINUM
  - ④ PAINTED ALUMINUM (SEE 3/10.00)



REAR ELEVATION  
1/8" = 1'-0"

**HIGH RESIDENCE**  
3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047:020

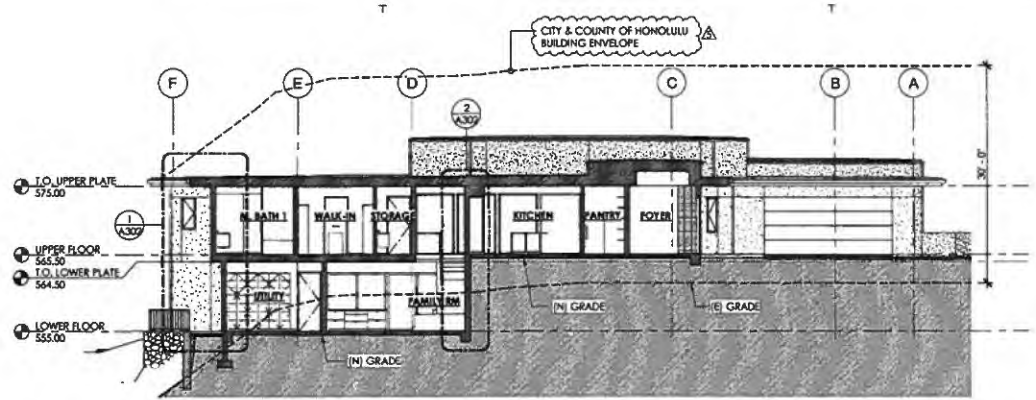
EXTERIOR ELEVATIONS  
Date: 4/16/21  
CH

PROJECT No. 416421  
SHEET No. CH

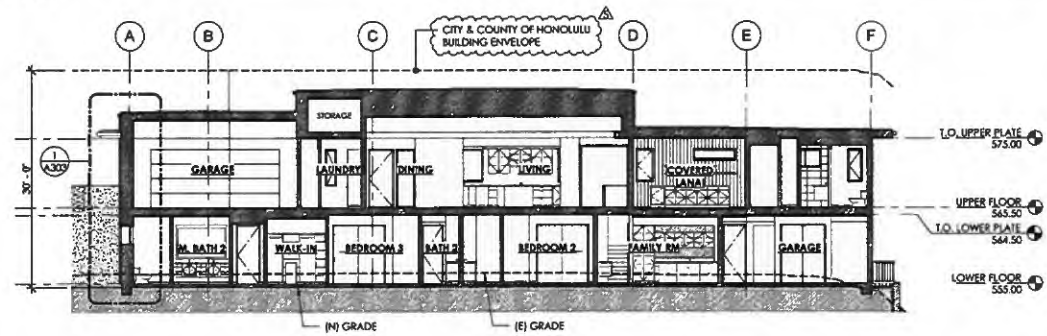
**GLAI**  
GEOFFREY LEWIS ARCHITECT, INC.  
3727 OLD PAHA ROAD  
HONOLULU, HI 96817  
P (808) 595-4000  
F (808) 595-2061

Drawing No. **A201**

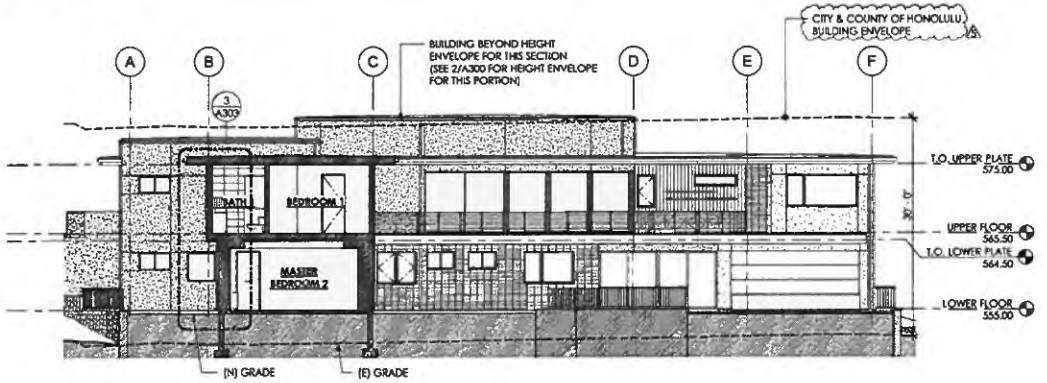
REVISED PRINT



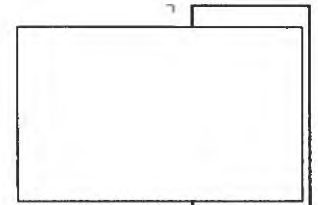
1 BUILDING SECTION  
1/8" = 1'-0"



2 BUILDING SECTION  
1/8" = 1'-0"



3 BUILDING SECTION  
1/8" = 1'-0"



**HUGH RESIDENCE**  
3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047:020

Revision	By	Date
3	WEL COOK	GLW 07/17/21



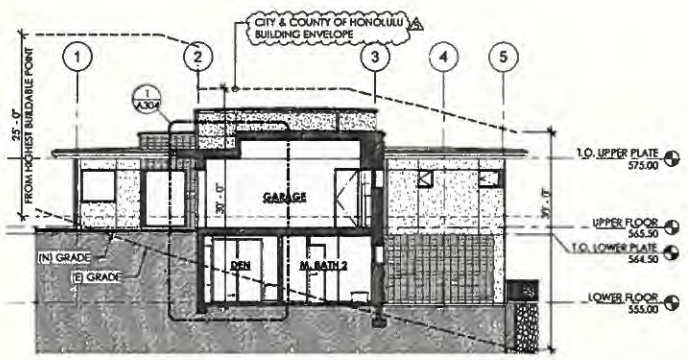
GEORFFREY LEWIS ARCHITECT, INC.  
1808 S. KALANIAN'OLE HWY., SUITE 200  
HONOLULU, HI 96817  
P 808 995-2041  
F 808 995-2041

PALEKANA PEROTE  
THIRD PARTY CERTIFICATION  
 ARCHITECTURE  STRUCTURAL  
 MECHANICAL/ELECTRICAL/PLUMBING  
 INTERIORS/ENVIRONMENTAL DESIGN

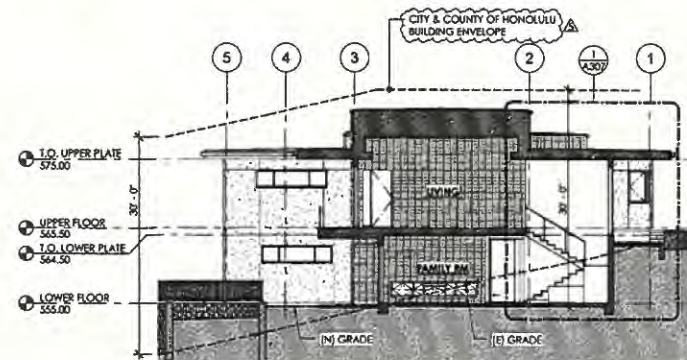


Drawing No. **A300**

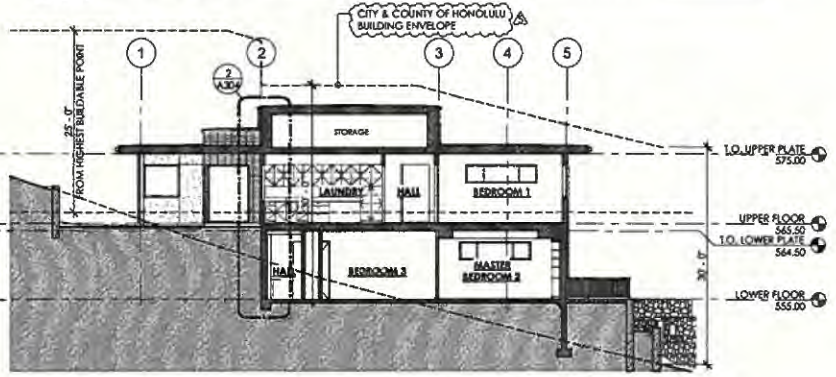
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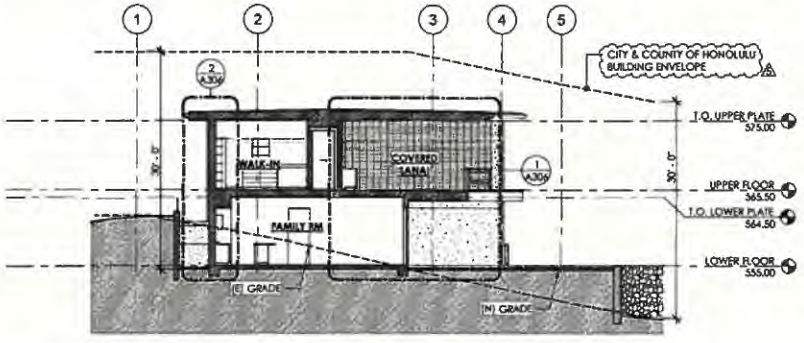
1 BUILDING SECTION  
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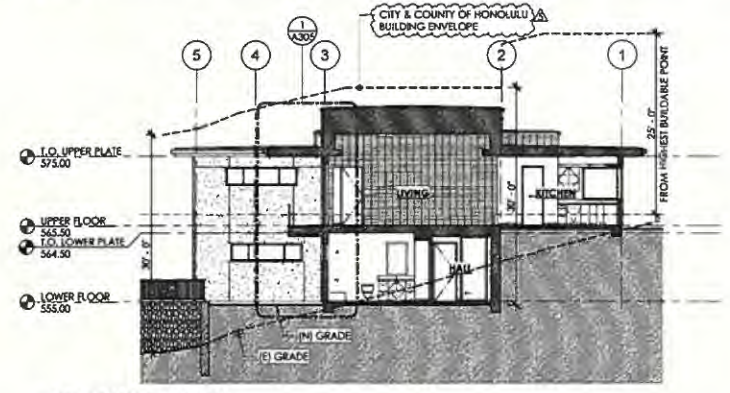
2 BUILDING SECTION  
1/8" = 1'-0"



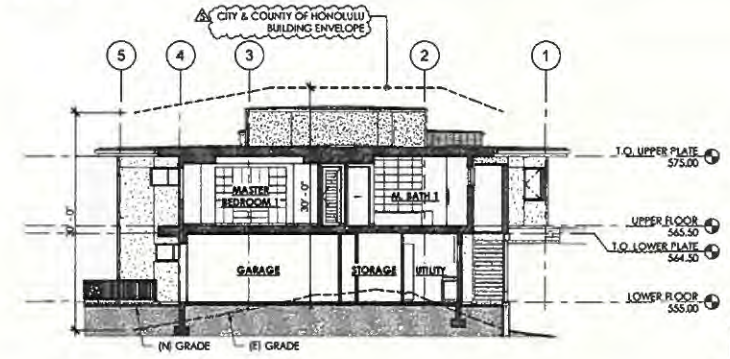
3 BUILDING SECTION  
1/8" = 1'-0"



4 BUILDING SECTION  
1/8" = 1'-0"



5 BUILDING SECTION  
1/8" = 1'-0"



6 BUILDING SECTION  
1/8" = 1'-0"

PAID/MAINT PERMITS  
THIRD PARTY CERTIFICATION  
 MECHANICAL  ELECTRICAL  
 MECHANICAL CODE  CHIMNEY/STOVE  
 FIRE/ARMS (NON-ARMS/2015 EXEMPT) (EXCLUDED)

0' 1' 2' 3'

**HUGH RESIDENCE**  
 3151 PUU PAKA DR. HONOLULU HI 96817  
 TMK: 2-2-047-020

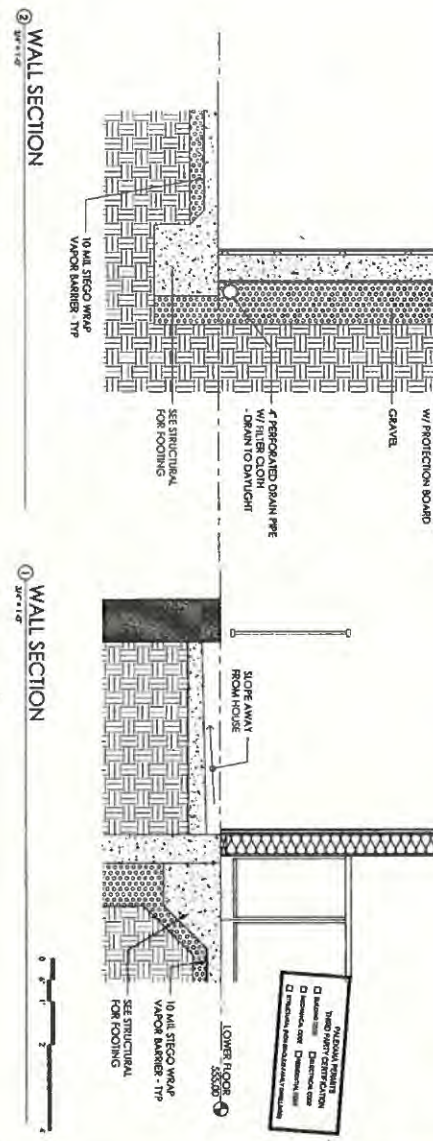
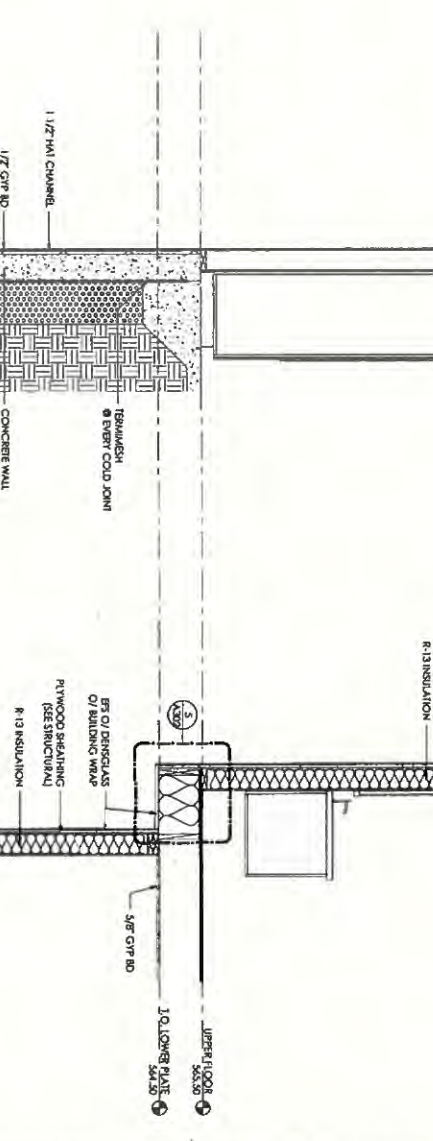
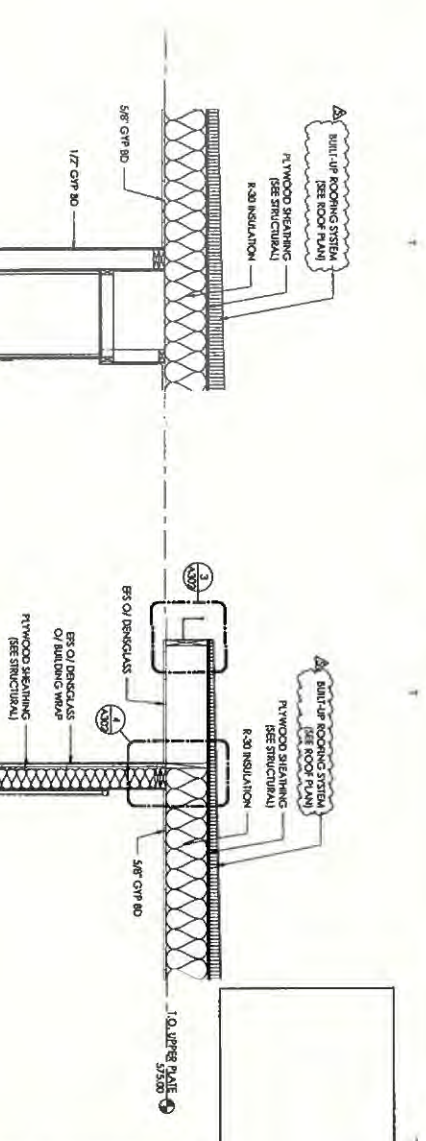
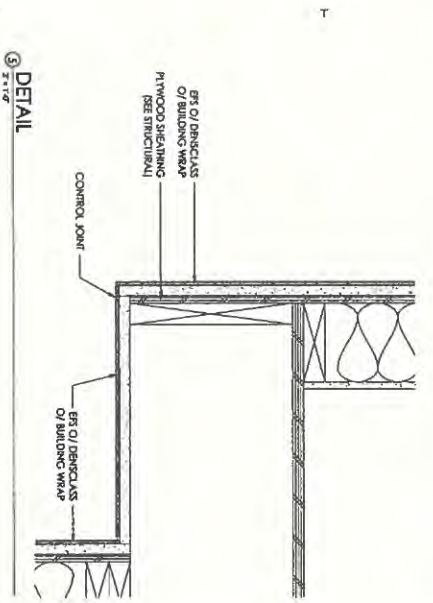
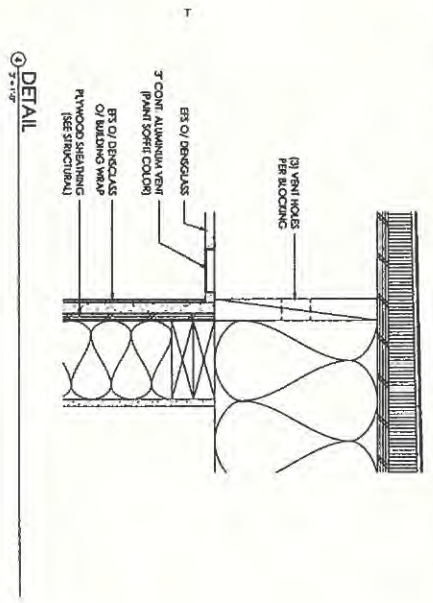
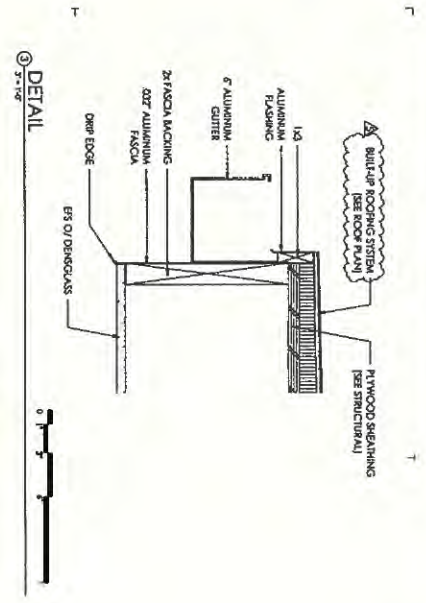
Revision By Date  
 5 (RESQO) (GJA) 4/21/21  
 Title BUILDING SECTIONS  
 Project No.  
 Date 4/16/21  
 Drawn CH



**GJA**  
 GEOFFREY LEWIS ARCHITECT INC  
 9927 OLOU PUU ROAD  
 HONOLULU HI 96817  
 CH 808-955-0046  
 F 808-955-2041

Drawing No. **A301**

REVISED PRINT

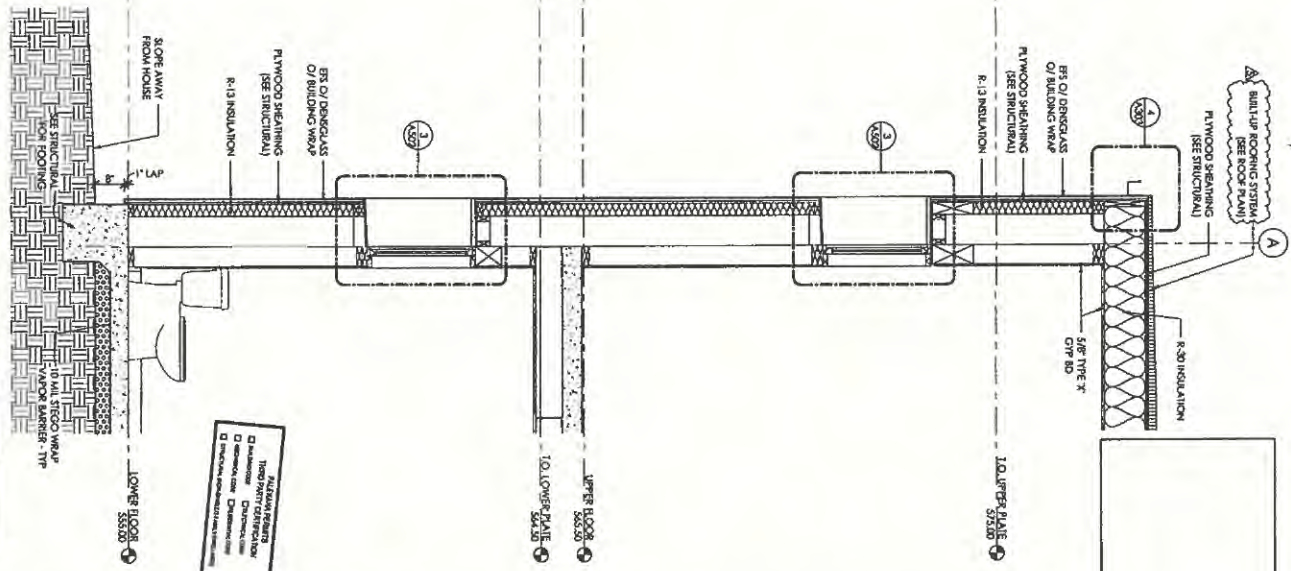
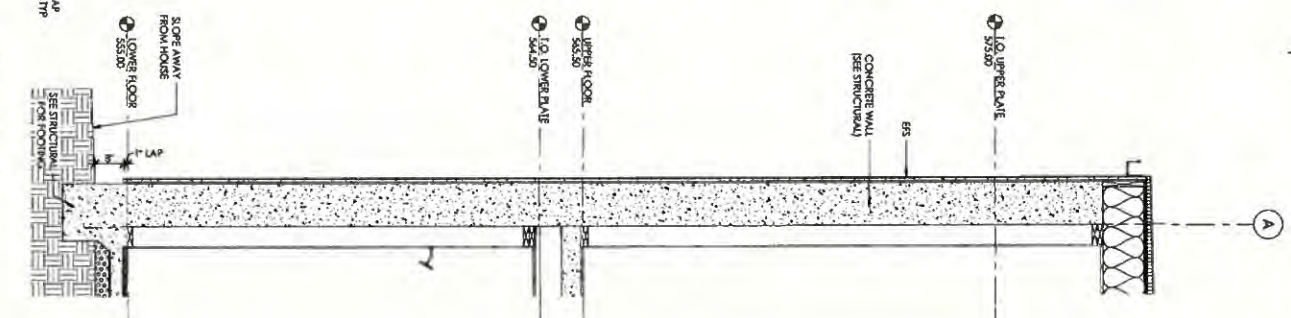
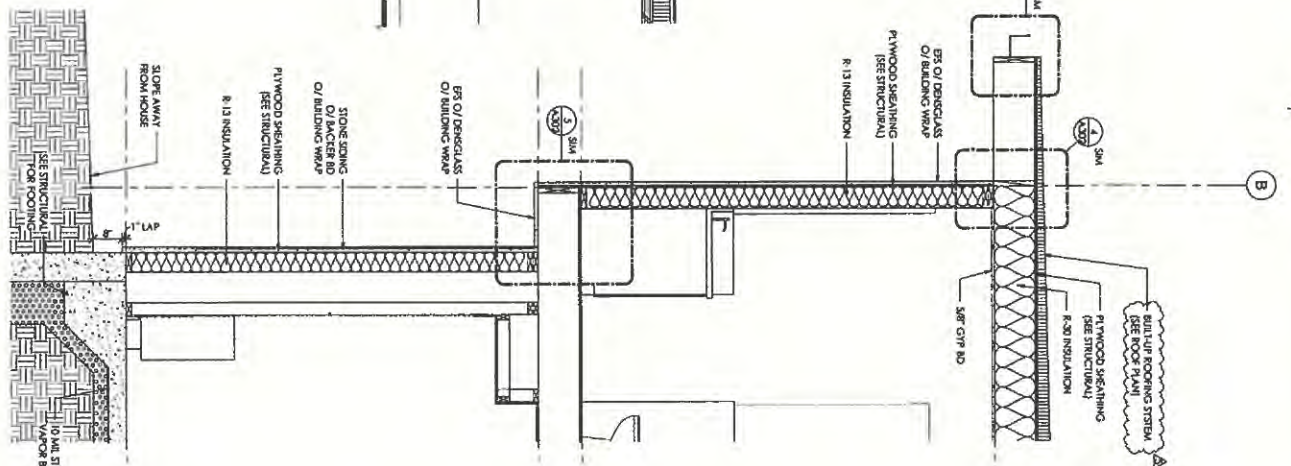
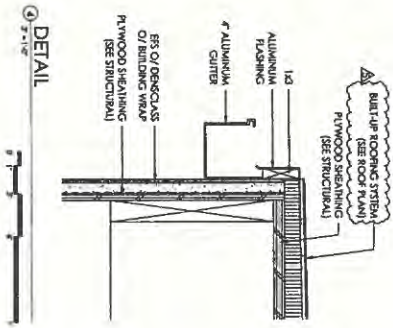


**HUGH RESIDENCE**  
 3151 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

Project No.	4/16/21
Date	4/16/21
Sheet	CH

**IGLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 919 S. KING ST. 2ND FL.  
 HONOLULU, HI 96817  
 P: (808) 595-2011  
 F: (808) 595-2011

A302

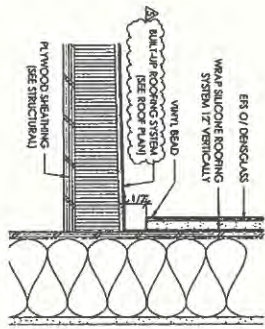


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 THE WRITTEN PERMISSION OF GEOFFREY LEWIS  
 ARCHITECT, INC.

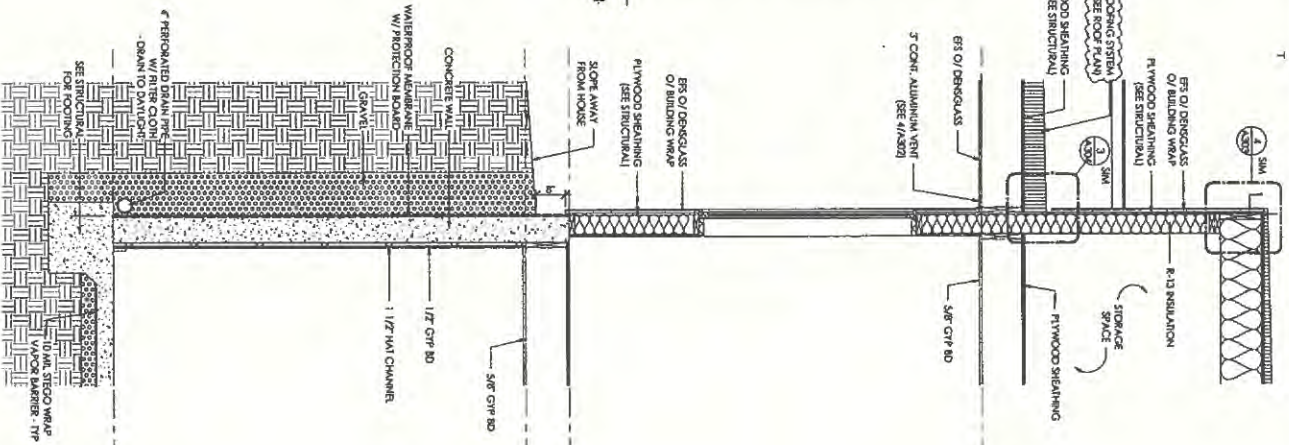
<p><b>IGLAI</b> GEOFFREY LEWIS ARCHITECT, INC. 909 KALANOAUE BLVD. SUITE 200 HONOLULU, HI 96813 PH: 808-525-5555 F: 808-525-5555</p>	<p>3151 PUU PAKA DR, HONOLULU HI 96817 TMK: 2-2-047:020</p>
	<p>PROJECT: HIGH RESIDENCE DATE: 4/14/21 DRAWN BY: CH</p>

WALL SECTIONS  
 1.0 UPPER FLOOR 555.00  
 1.0 LOWER FLOOR 544.20

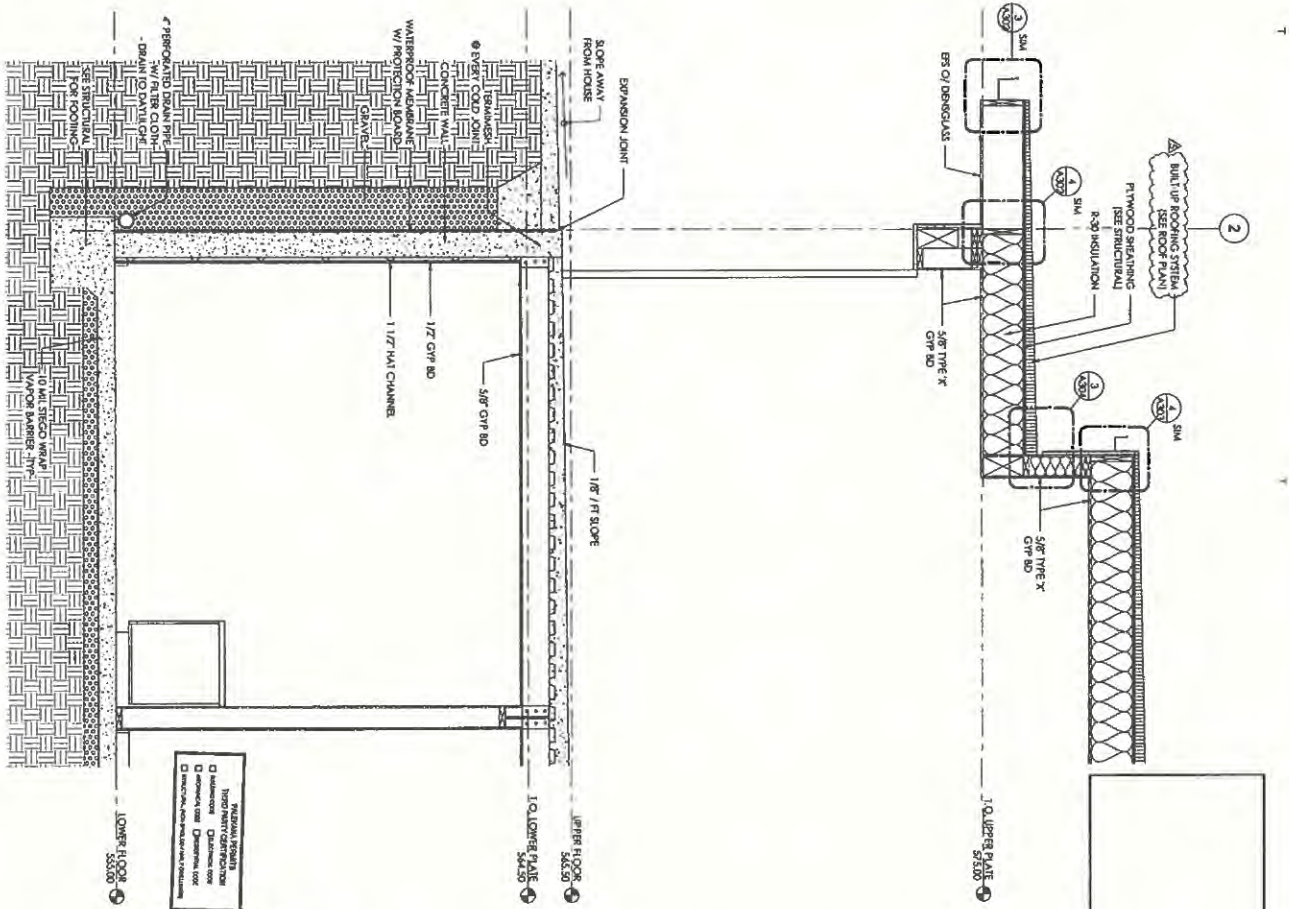
A303  
 REVISIONS  
 REVISED PRINT



① DETAIL  
1/2" = 1'-0"



② WALL SECTION  
1/2" = 1'-0"



③ WALL SECTION  
1/2" = 1'-0"

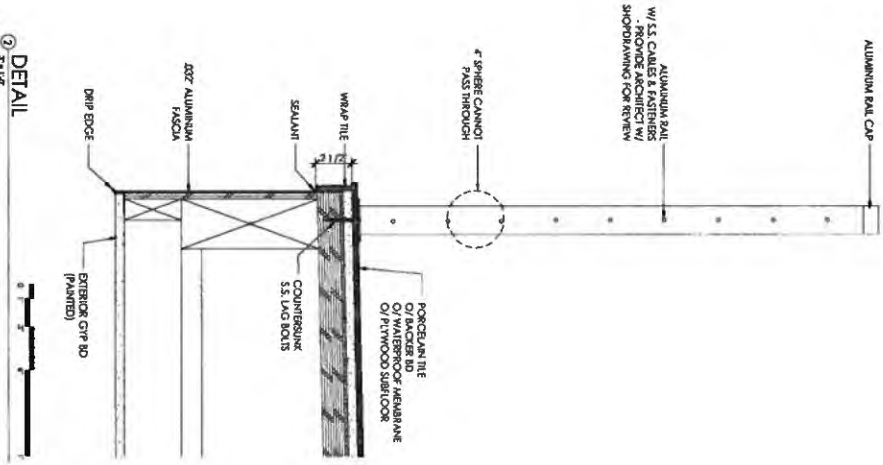
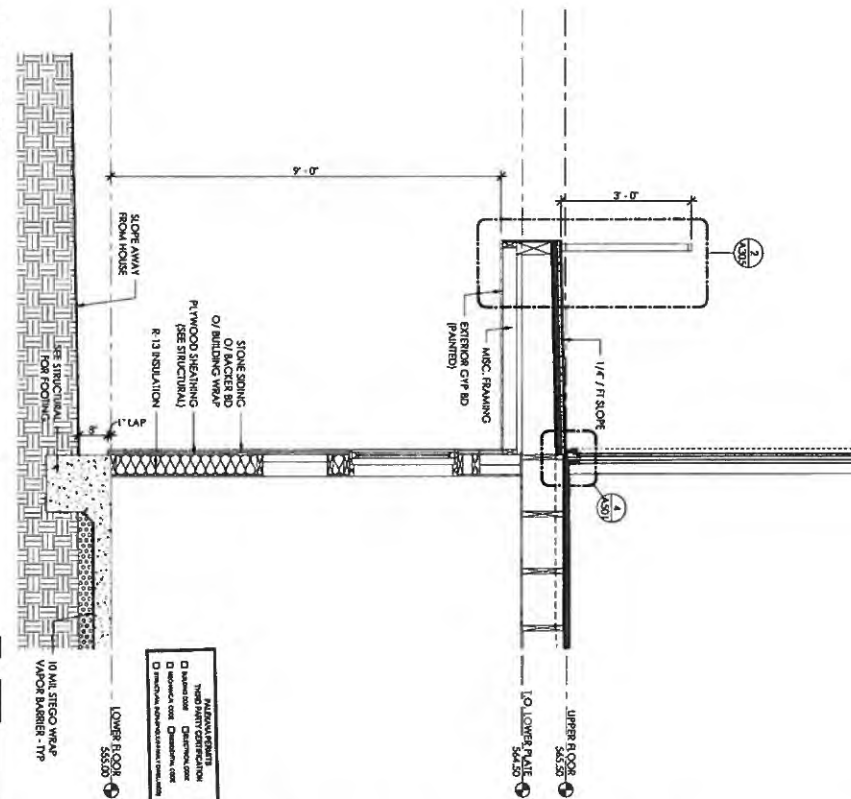
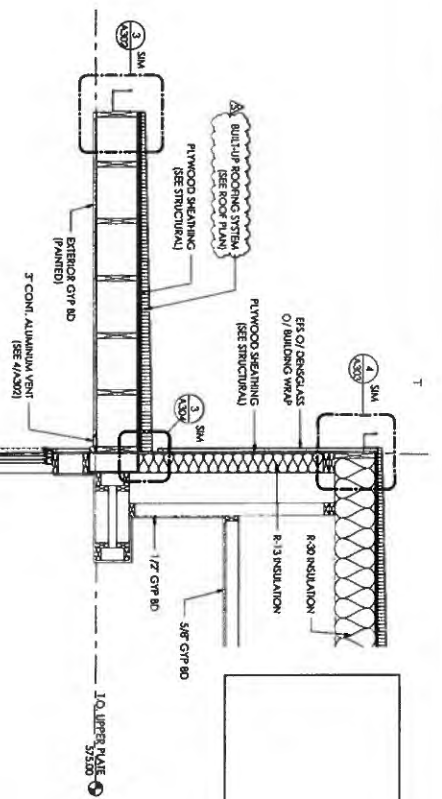
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--	--

**HIGH RESIDENCE**  
 3151 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020



**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 3151 PUU PAKA DR  
 HONOLULU, HI 96817

A304



**HUGH RESIDENCE**  
3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

Revised	By	Date
1	CG/ML	02/01/13
2	CG/ML	02/27/13

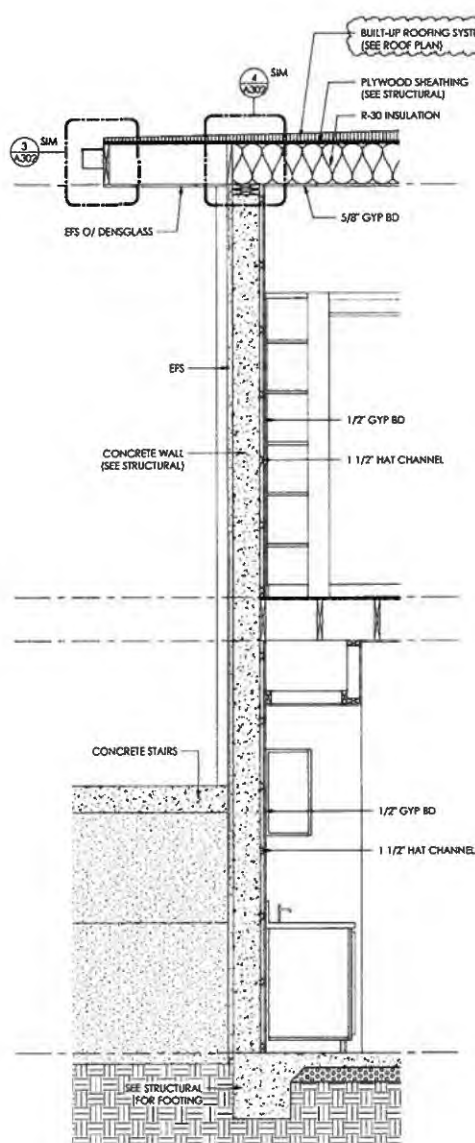
WALL SECTIONS  
 Project No. 416421  
 Date 4/16/21  
 Scale CH

**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 943 S. PAAI ROAD  
 HONOLULU, HI 96817  
 (808) 595-4048  
 (808) 595-2041

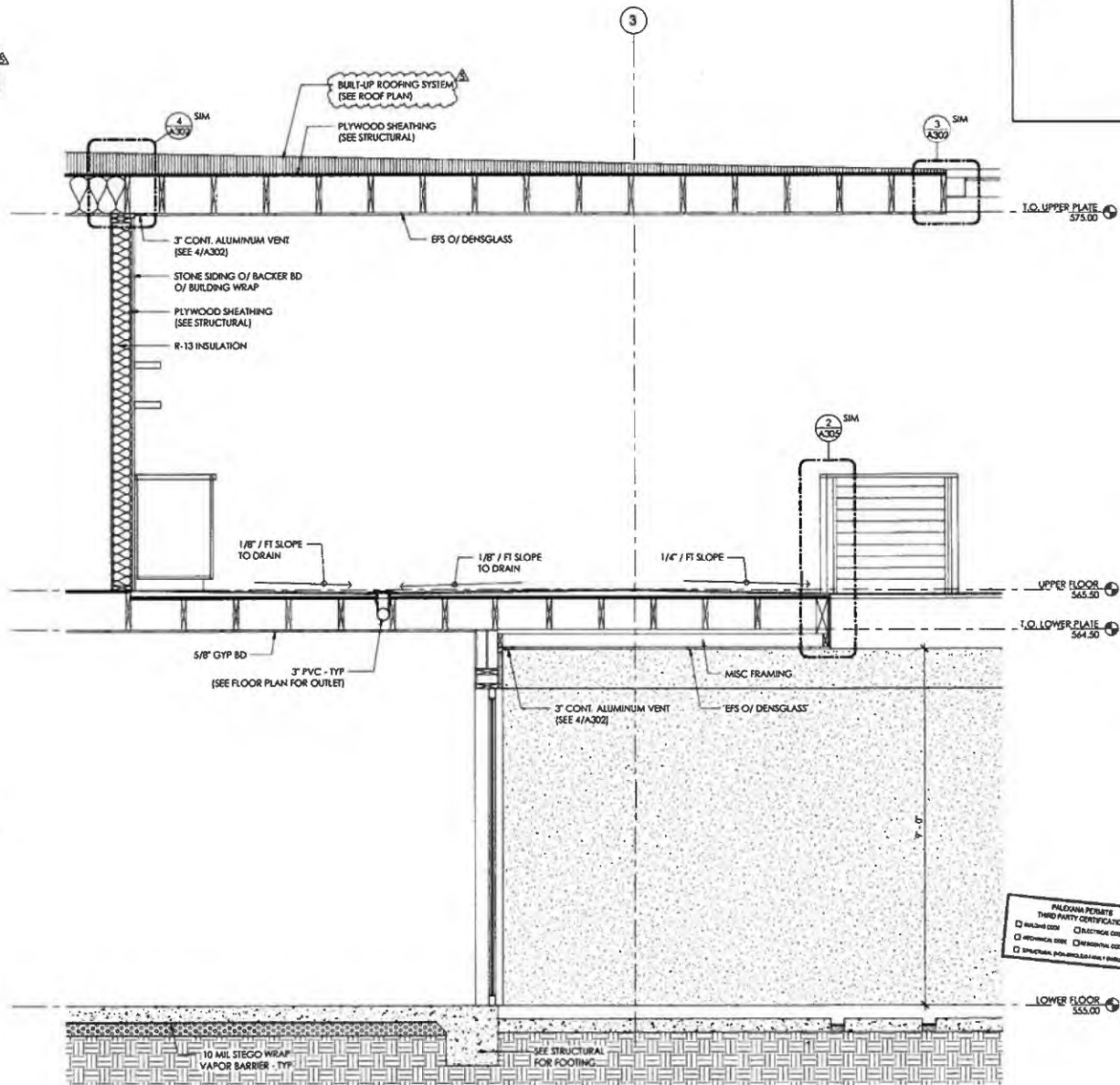
**A305**  
 GEORGE M. LEWIS ARCHITECT

REVISED PRINT





2 WALL SECTION  
3/4" = 1'-0"



1 WALL SECTION  
3/4" = 1'-0"



# HUGH RESIDENCE

3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

Revision	By	Date
3	WEL CODE	GALE 4/16/21

WALL SECTIONS

Project No. \_\_\_\_\_  
Date 4/16/21  
Drawn CH



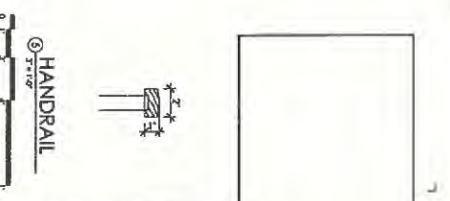
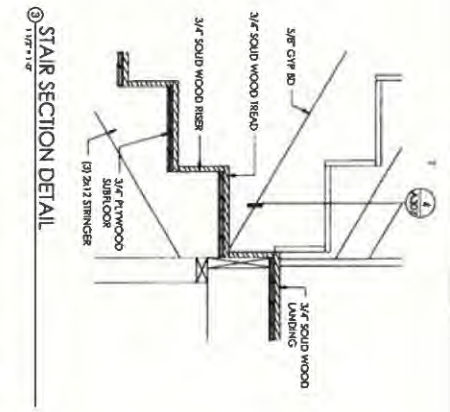
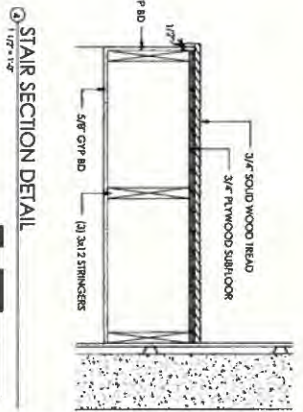
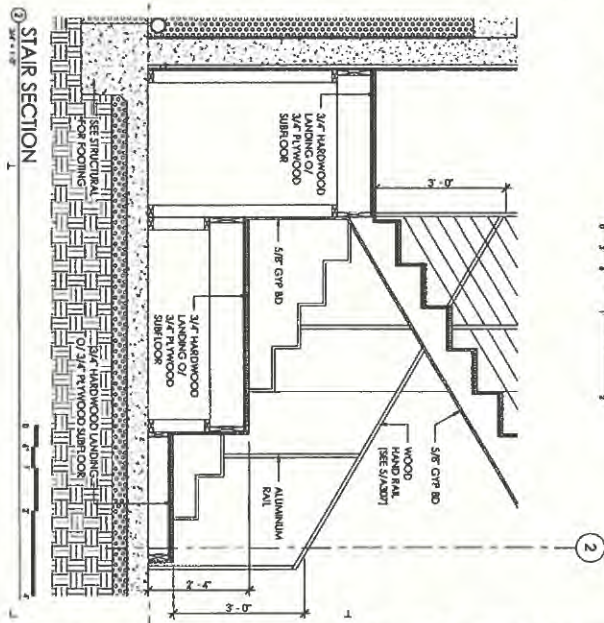
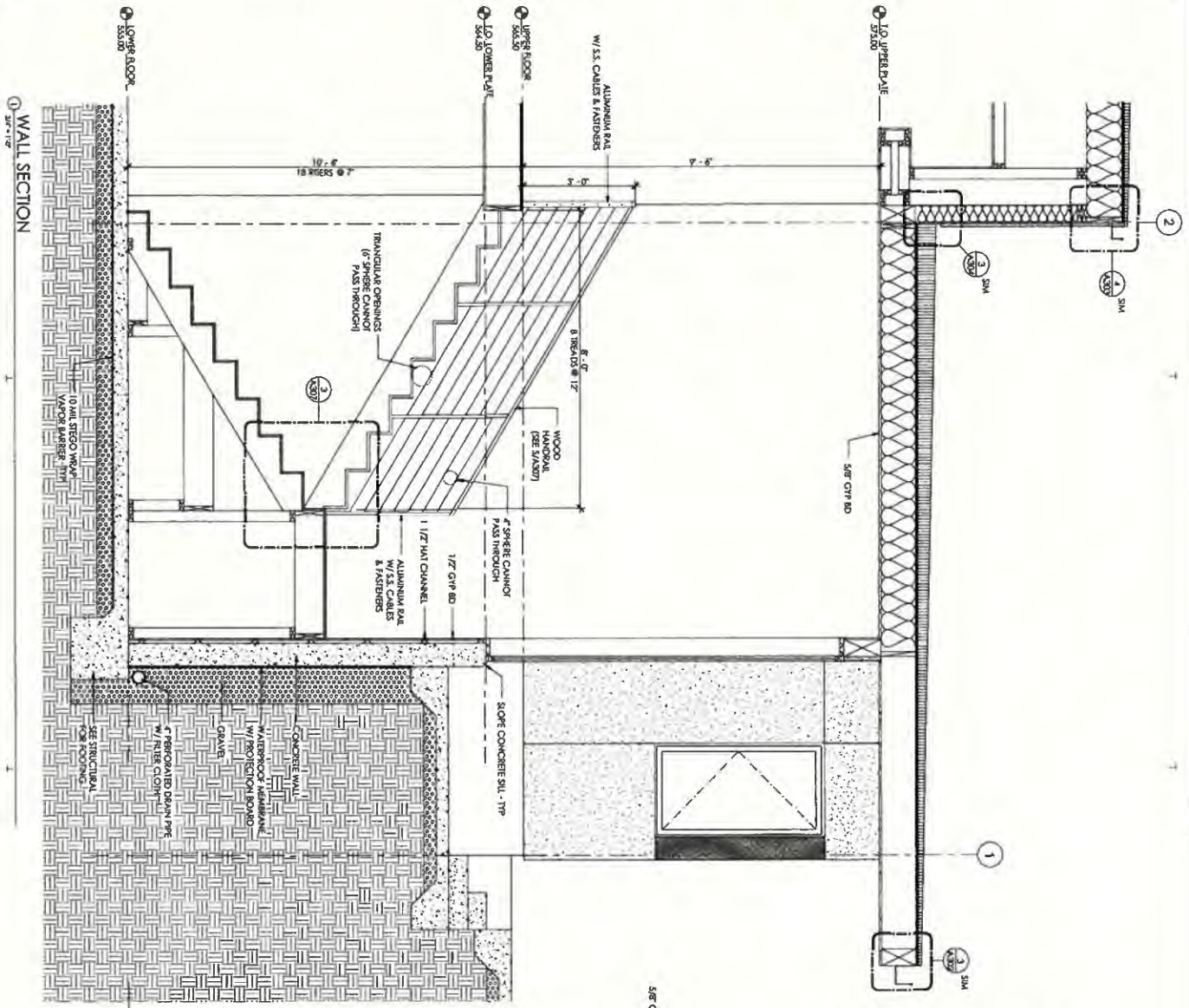
License Exp. Date 11/30/23

- HALENA RESIDE  
THIRD PARTY CERTIFICATION
- MECHANICAL CODE
  - ELECTRICAL CODE
  - PLUMBING CODE
  - STRUCTURAL, BUILDING, AND MECHANICAL

GEORFFREY LEWIS ARCHITECT, INC.  
1000  
3929 OLD PALI ROAD  
HONOLULU HI 96817

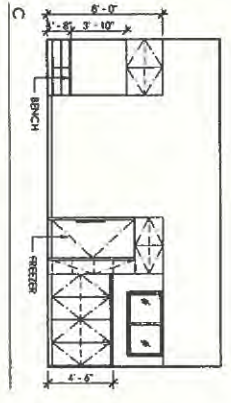
Drawing No. A306

REVISED PRINT

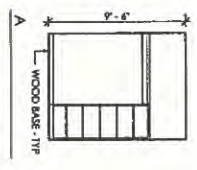


FINISHES:  
 D - DRYWALL  
 D - CERAMIC TILE  
 D - POLISHED CONCRETE  
 D - POLISHED WOOD  
 D - POLISHED METAL  
 D - POLISHED STONE  
 D - POLISHED GLASS

Drawing No. <b>A307</b>	<b>GLAI</b> GEOFFREY LEWIS ARCHITECT, INC. 3927 OLD PALM ROAD HONOLULU, HI 96817 P (808) 595-6046 F (808) 595-2061		Title: STAIR SECTION Project No.: 4116/21 Date: CH	Revision: 1 Date:	<b>HUGH RESIDENCE</b> 54 PUU PAKA DR, HONOLULU HI 96817 TMK: 2-2-047:020
			Drawing No.: Date:	Revision: 1 Date:	

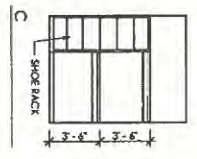


**GARAGE (201)**

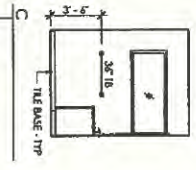
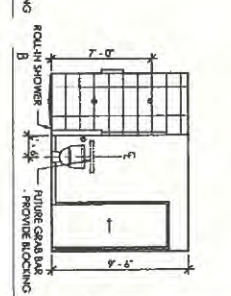
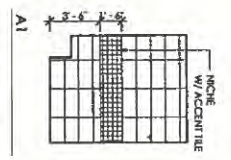


**WALK-IN (202)**

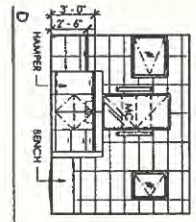
NOTE: VERIFY FINAL LAYOUT W/ OWNER



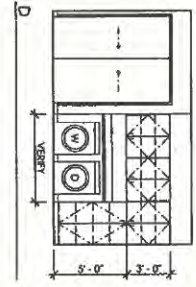
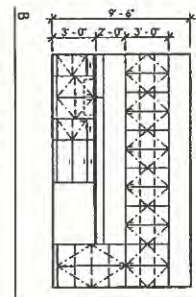
**BATH 1 (203)**



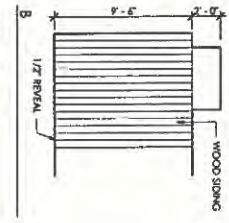
**BATH 1 (203)**



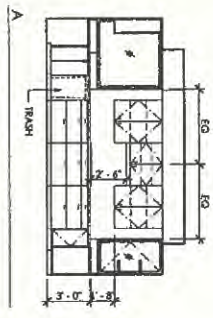
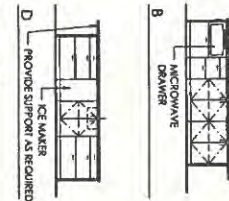
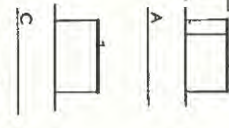
**LAUNDRY (206)**



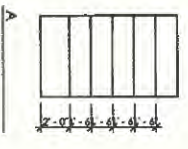
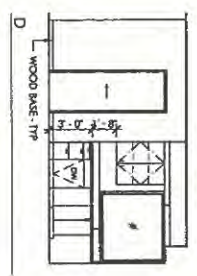
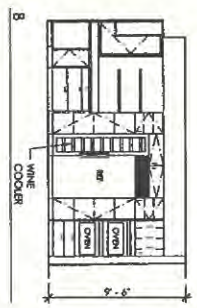
**FOYER (207)**



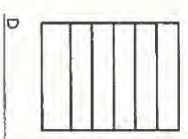
**KITCHEN - ISLAND (211)**



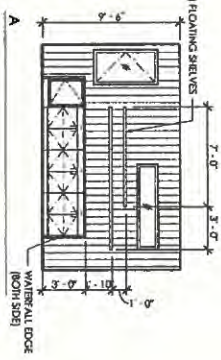
**KITCHEN (211)**



**PANTRY (210)**



**COVERED LANAI (217)**



**INTERIOR NOTES:**  
 1. ALL BASE CABINET SHELVES TO BE FULL EXTENSION.  
 2. VERIFY ALL CLOSET LAYOUTS W/ OWNER.

**FINISH SCHEDULE:**  
 (1) FLOORING  
 (2) WALLS  
 (3) CEILING  
 (4) DOORS  
 (5) WINDOWS  
 (6) CLOSETS  
 (7) KITCHEN  
 (8) BATHS  
 (9) LAUNDRY  
 (10) GARAGE  
 (11) COVERED LANAI

ROOM #	ROOM NAME	FLOOR	BASE	WALL	CILING
101	GARAGE				
102	STORAGE				
103	WET BAR				
104	WET BAR				
105	WET BAR				
106	WET BAR				
107	WET BAR				
108	WET BAR				
109	WET BAR				
110	HALL				
111	HALL				
112	WALK-IN				
113	WALK-IN				
114	WALK-IN				
201	BR. BATHROOM 1				
202	BR. BATHROOM 2				
203	BR. BATHROOM 3				
204	BR. BATHROOM 4				
205	BR. BATHROOM 5				
206	BR. BATHROOM 6				
207	LAUNDRY				
208	FOYER				
209	DINING				
210	LIVING				
211	PANTRY				
212	KITCHEN				
213	TERACE				
214	TERACE				
215	WALK-IN				
216	WALK-IN				
217	COVERED LANAI				

INTERIOR ELEVATIONS

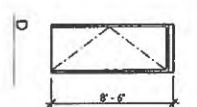
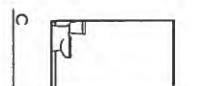
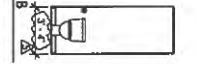
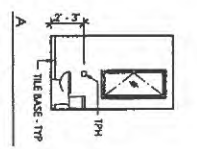
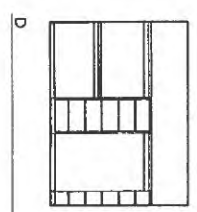
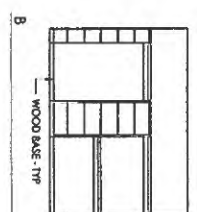
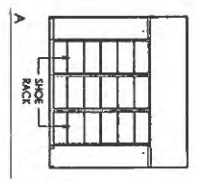
A400

**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 3927 OLD PALU ROAD  
 HONOLULU, HI 96817  
 P (808) 595-4046  
 F (808) 595-2061



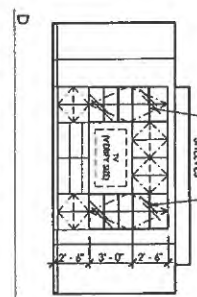
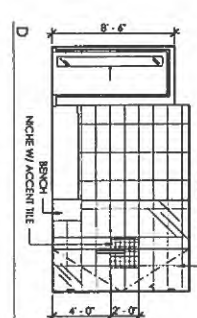
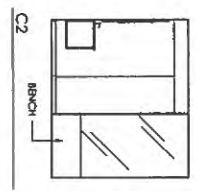
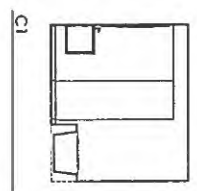
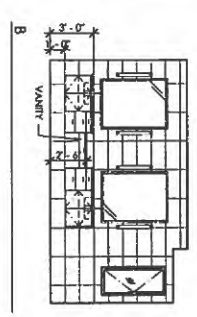
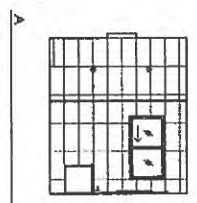
INTERIOR ELEVATIONS  
 DRAWN BY: [Name]  
 DATE: 4/16/21  
 CH: [Name]

**HUGH RESIDENCE**  
 349 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020



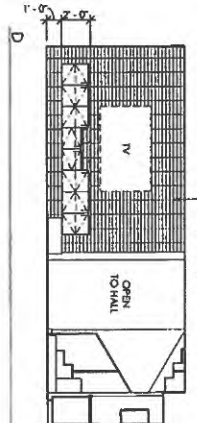
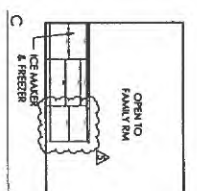
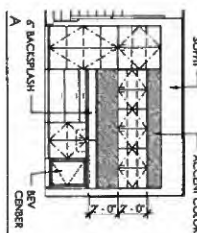
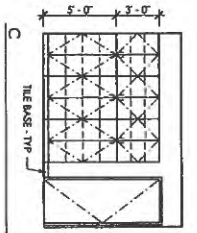
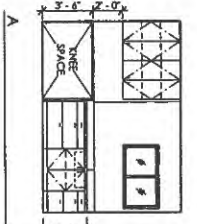
**WALK-IN (1214)**  
NOTE TO BE DESIGNED BY CLOSET SYSTEM CONSULTANT.

**M. BATH 1 - TOILET RM (215)**



**M. BATH 1 (215)**

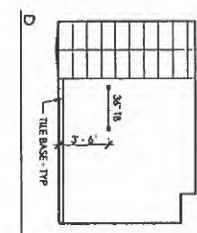
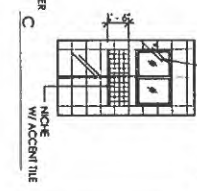
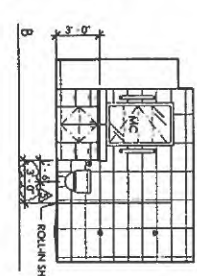
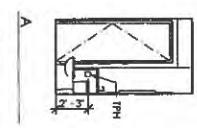
**M. BEDROOM (216)**



**UTILITY (103)**

**WET BAR (104)**

**FAMILY RM (105)**



**BATH 2 (107)**

INTERIOR ELEVATIONS



PROFESSIONAL ENGINEER  
 THIRD PARTY CERTIFICATION  
 10/1/2011  
 10/1/2011  
 10/1/2011

**HIGH RESIDENCE**  
 3151 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047-020

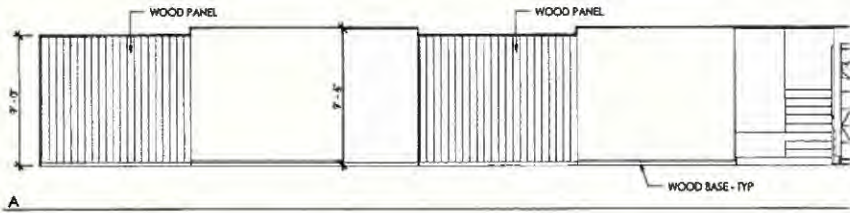
INTERIOR ELEVATIONS  
 DATE: 4/18/21  
 DRAWN: CH

REVISIONS  
 1. REV CODE: [ ] DATE: 07/17/21

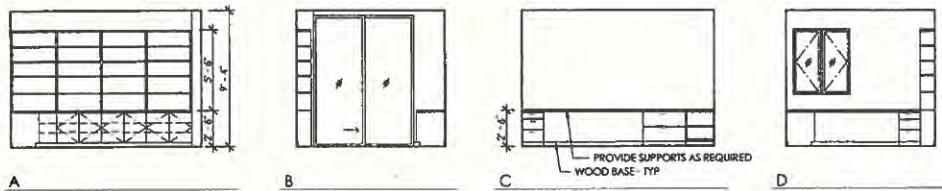
PROJECT NO: A401

GEORFFREY LEWIS ARCHITECT, INC.  
 1877 OLD PALM ROAD  
 HONOLULU, HI 96817  
 P (808) 595-6946  
 F (808) 595-2061

REVISOR: [ ]  
 DATE: [ ]

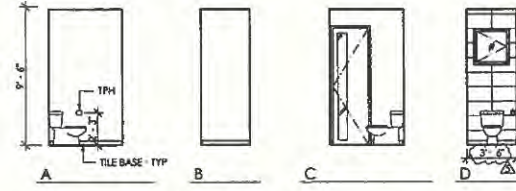


**HALL (110)**

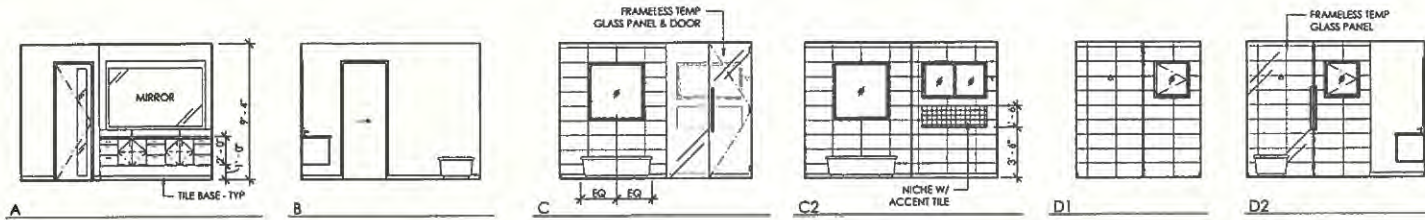


**DEN (111)**

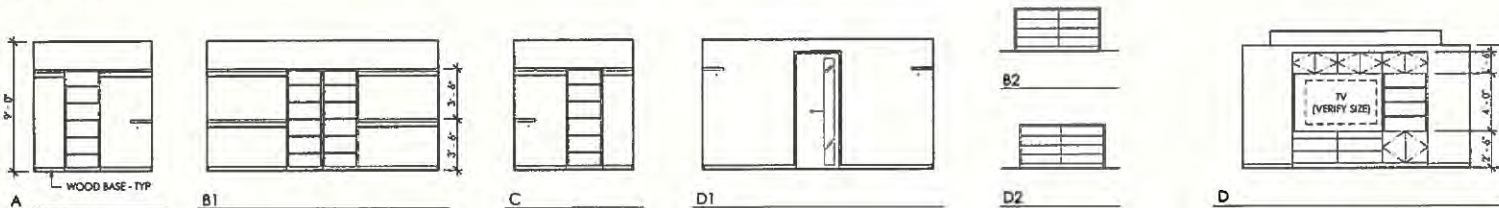
NOTE: VERIFY FINAL LAYOUT W/ OWNER



**M. BATH 2 - TOILET RM (112)**



**M. BATH 2 (112)**



**M. BEDROOM (115)**

**WALK-IN (114)**

NOTE: TO BE DESIGNED BY CLOSET SYSTEM CONSULTANT

INTERIOR ELEVATIONS

HAZARDUS PERMITS  
THIRD PARTY CERTIFICATION  
 BUILDING CODE  ELECTRICAL CODE  
 MECHANICAL CODE  GEOTECHNICAL CODE  
 FIRE/ALARM, SMOKE/HEAT & FAULT DETECTORS



**HUGH RESIDENCE**  
3151 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

Revision: 3  
By: RES CODE  
Date: 4/21/21

INTERIOR ELEVATIONS

Project No:  
Date: 4/16/21  
Client: CH



GEORFFREY LEWIS ARCHITECT, INC.  
1808 KALANANAKU AVE, SUITE 204  
HONOLULU, HI 96817  
P: 808-955-5044  
F: 808-955-5061

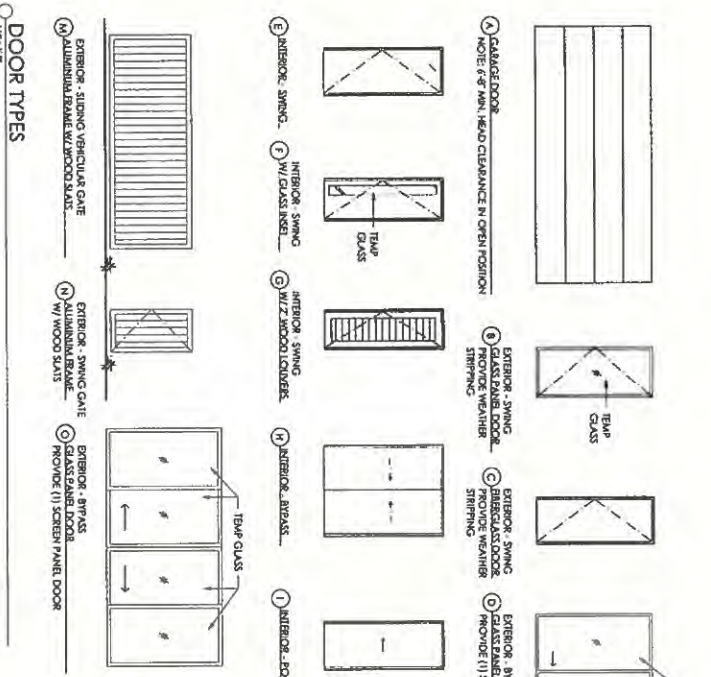
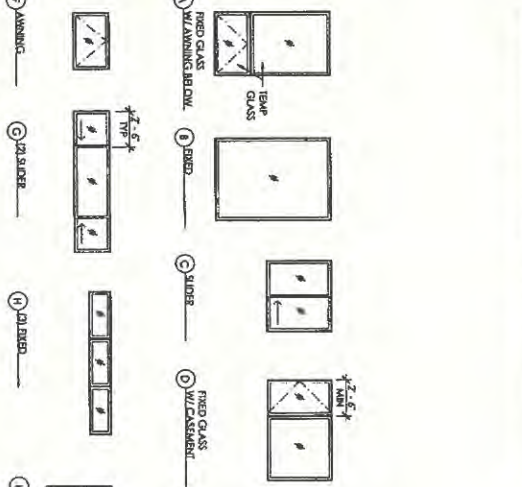
Drawing No:

**A402**

REVISED PRINT

**WINDOW SCHEDULE**

FLOOR	MARK	TYPE	ROUGH OPENING	HEAD	DETAILS	NOTES
LOWER FLOOR	1.1	C	4'-6" x 7'-6"	5'-0"		
LOWER FLOOR	1.2	E	2'-6" x 4'-6"	3'-0"		
LOWER FLOOR	1.3	D	6'-0" x 7'-6"	8'-0"		
LOWER FLOOR	1.4	D	6'-0" x 7'-6"	8'-0"		
LOWER FLOOR	1.5	D	7'-0" x 7'-6"	8'-0"		
LOWER FLOOR	1.6	C	4'-0" x 2'-6"	3'-0"		
LOWER FLOOR	1.7	C	4'-0" x 2'-6"	3'-0"		
LOWER FLOOR	1.8	C	5'-0" x 4'-6"	5'-0"		
LOWER FLOOR	1.9	C	10'-0" x 7'-6"	8'-0"		
LOWER FLOOR	1.10	D	10'-0" x 4'-6"	8'-0"		
LOWER FLOOR	1.11	C	4'-6" x 4'-6"	5'-0"		
LOWER FLOOR	1.12	C	4'-6" x 4'-6"	5'-0"		
LOWER FLOOR	1.13	E	2'-6" x 2'-6"	3'-0"		
LOWER FLOOR	1.14	E	2'-6" x 2'-6"	3'-0"		
LOWER FLOOR	1.15	E	4'-0" x 4'-6"	5'-0"		
LOWER FLOOR	2.1	E	4'-0" x 4'-6"	5'-0"		
LOWER FLOOR	2.2	E	7'-6" x 8'-0"	8'-0"		
LOWER FLOOR	2.3	E	7'-6" x 8'-0"	8'-0"		
LOWER FLOOR	2.4	E	7'-6" x 8'-0"	8'-0"		
LOWER FLOOR	2.5	E	5'-0" x 4'-6"	5'-0"		
LOWER FLOOR	2.6	E	5'-0" x 4'-6"	5'-0"		
LOWER FLOOR	2.7	E	2'-6" x 4'-6"	3'-0"		
LOWER FLOOR	2.8	E	2'-6" x 4'-6"	3'-0"		
LOWER FLOOR	2.9	E	6'-0" x 9'-6"	8'-0"		
LOWER FLOOR	2.10	E	1'-6" x 2'-6"	3'-0"		
LOWER FLOOR	2.11	E	1'-6" x 2'-6"	3'-0"		
LOWER FLOOR	2.12	E	2'-0" x 4'-6"	3'-0"		
LOWER FLOOR	2.13	E	2'-0" x 4'-6"	3'-0"		
LOWER FLOOR	2.14	E	10'-0" x 4'-6"	8'-0"		
LOWER FLOOR	2.15	D	10'-0" x 4'-6"	8'-0"		
LOWER FLOOR	2.16	B	6'-0" x 1'-6"	3'-0"		
LOWER FLOOR	2.17	E	7'-6" x 4'-6"	5'-0"		
LOWER FLOOR	2.18	B	5'-6" x 8'-6"	8'-6"		
LOWER FLOOR	2.19	B	5'-6" x 8'-6"	8'-6"		
LOWER FLOOR	2.20	B	5'-6" x 8'-6"	8'-6"		
LOWER FLOOR	2.21	G	10'-0" x 2'-6"	3'-0"		
LOWER FLOOR	2.22	B	6'-0" x 2'-6"	3'-0"		
LOWER FLOOR	2.23	E	3'-0" x 2'-6"	3'-0"		
LOWER FLOOR	2.24	E	2'-0" x 2'-6"	3'-0"		
LOWER FLOOR	2.25	C	4'-6" x 2'-6"	3'-0"		
LOWER FLOOR	2.26	E	2'-6" x 2'-6"	3'-0"		
LOWER FLOOR	2.27	E	2'-6" x 2'-6"	3'-0"		
LOWER FLOOR	2.28	E	2'-6" x 2'-6"	3'-0"		
LOWER FLOOR	2.29	B	4'-0" x 7'-6"	8'-0"		
LOWER FLOOR	2.30	B	4'-0" x 7'-6"	8'-0"		



- NOTES:**
1. ALL OPERABLE WINDOWS ACTING AS REQUIRED EGRESS MUST OPEN TO NO DEGREE.
  2. 4FT MAXIMUM SILL HEIGHT AT ALL BEDROOMS (WINDOW SUPPLIER TO VERIFY FOR EGRESS).
  3. PROVIDE A MINIMUM OF 5.7' CLEAR OPENING W/ A MIN. 2" VERTICAL OPENING AND A MIN. 20" W/ A MIN. 18" CLEAR OPENING FOR ALL RESIDENT WINDOWS OF EGRESS (WINDOW SUPPLIER TO VERIFY FOR EGRESS).
  4. ANY GLASS DOORS OR WINDOWS WITHIN 2' OF ANY DOOR SWING MUST BE COMPOSED OF SAFETY GLASS DOOR SUPPLIER TO VERIFY.
  5. ANY GLASS DOORS OR WINDOWS WITHIN 18" OF FINISH FLOOR MUST BE COMPOSED OF SAFETY GLASS (WINDOW SUPPLIER TO VERIFY).
  6. ANY GLASS DOORS OR WINDOWS BELOW 5'-0" IN A SHOWER (NET ROOM) MUST BE SAFETY GLASS (WINDOW SUPPLIER TO VERIFY).
  7. AT ALL OPERABLE WINDOW OPERATES, A HORIZONTAL MOTION MUST OCCUR AT 30" ABOVE FINISH FLOOR (WINDOW SUPPLIER TO VERIFY).
  8. ALL WALLS ACTING AS A DOOR BACK MUST BE PLUMB AND TRUE.
  9. PROVIDE SILLONE CALLING (ESALANI) AT ALL DOORS AND WINDOWS AS REQUIRED. AVOID ANY POOLING OF WATER.
  10. ALL DOORS AND WINDOWS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
  11. PROVIDE SCREWS FOR ALL OPERABLE WINDOWS.
  12. INTERIOR DOORS: FLUSH WOOD DOORS - PAINT GRADE.
  13. WINDOWS: BERTWOOD OR WESTERN WINDOW.
  14. EXTERIOR SLIDER: BERTWOOD OR WESTERN WINDOW.

**DOOR SCHEDULE**

FLOOR	MARK	TYPE	ROUGH OPENING	THICK	COSE	DETAILS	NOTES
LOWER FLOOR	1.1	H	18'-0" x 8'-0"	2"	ALUM.	3	
LOWER FLOOR	1.2	H	6'-0" x 8'-0"	1 3/4"	SC	8	
LOWER FLOOR	1.3	C	3'-0" x 8'-0"	1 3/4"	SC	2	
LOWER FLOOR	1.4	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	1.5	E	3'-0" x 8'-0"	1 3/4"	SC	6	20 MIN. W/ CLOSER
LOWER FLOOR	1.6	O	16'-0" x 8'-0"	2"	GLASS	4	
LOWER FLOOR	1.7	K	7'-0" x 8'-0"	1 3/4"	SC	8	
LOWER FLOOR	1.8	E	3'-0" x 8'-0"	1 3/4"	SC	4	
LOWER FLOOR	1.9	E	2'-6" x 8'-0"	1 3/4"	SC	4	
LOWER FLOOR	1.10	E	2'-6" x 8'-0"	1 3/4"	SC	4	
LOWER FLOOR	1.11	E	3'-0" x 8'-0"	1 3/4"	SC	4	
LOWER FLOOR	1.12	K	7'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	1.13	G	2'-0" x 8'-0"	1 3/4"	GLASS	4	
LOWER FLOOR	1.14	D2	7'-0" x 4'-0"	2"	GLASS	4	
LOWER FLOOR	1.15	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	1.16	F	2'-6" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	1.17	F	2'-6" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	1.18	F	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	1.19	C	3'-0" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	2.1	C	3'-0" x 8'-0"	1 3/4"	SC	2	
LOWER FLOOR	2.2	A	18'-0" x 8'-0"	2"	ALUM.	3	
LOWER FLOOR	2.3	H	6'-0" x 8'-0"	1 3/4"	SC	8	
LOWER FLOOR	2.4	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	2.5	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	2.6	F	3'-0" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	2.7	F	3'-0" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	2.8	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	2.9	B	2'-6" x 8'-0"	1 3/4"	GLASS	4	
LOWER FLOOR	2.10	D	11'-6" x 8'-6"	2"	GLASS	4	
LOWER FLOOR	2.11	D	4'-0" x 8'-6"	2"	GLASS	4	
LOWER FLOOR	2.12	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	2.13	E	3'-0" x 8'-0"	1 3/4"	SC	6	
LOWER FLOOR	2.14	J	3'-0" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	2.15	J	3'-0" x 8'-0"	1 3/4"	SC	7	
LOWER FLOOR	2.16	G	3'-0" x 8'-0"	1 3/4"	GLASS	4	
LOWER FLOOR	2.17	G	3'-0" x 8'-0"	1 3/4"	GLASS	4	
LOWER FLOOR	2.18	G	3'-0" x 8'-0"	1 3/4"	GLASS	4	
LOWER FLOOR	2.19	K	13'-0" x 8'-0"	2"	ALUM.	3	
LOWER FLOOR	2.20	N	3'-0" x 6'-0"	1 3/4"	SC	6	

**GENERAL NOTES:**  
 1. PROVIDE PER MANUFACTURER'S INSTRUCTIONS FOR ALL OPERABLE WINDOWS.  
 2. PROVIDE PER MANUFACTURER'S INSTRUCTIONS FOR ALL OPERABLE DOORS.  
 3. PROVIDE PER MANUFACTURER'S INSTRUCTIONS FOR ALL OPERABLE DOORS.

**HIGH RESIDENCE**  
 151 PUU PAKA DR. HONOLULU HI 96817  
 TMK: 2-2-047-020

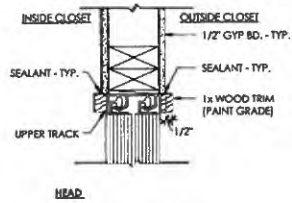
**DOOR & WINDOW SCHEDULES**  
 DATE: 4/16/21  
 DRAWN: CH

**REVISIONS:**  
 1. REVISION 1  
 2. REVISION 2

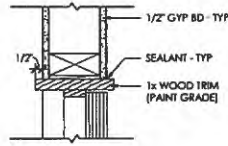
**REVISION PRINT**

**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 340 S. KING ST. SUITE 200  
 HONOLULU, HI 96813  
 (808) 595-2041  
 (808) 595-2042  
 (808) 595-2043

**A500**

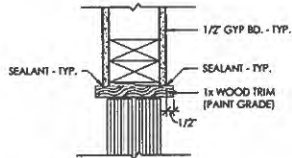


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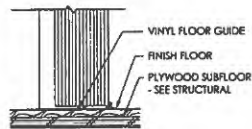


HEAD / JAMB (SIM.)

④ INTERIOR SWING DOOR DETAIL  
3/4" x 1'-0"

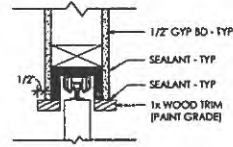


JAMB (STRICK)

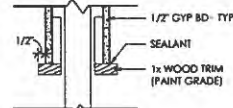


THRESHOLD

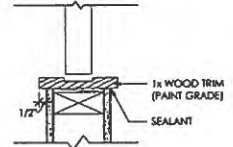
⑥ INTERIOR BYPASS DOOR DETAIL  
3/4" x 1'-0"



HEAD

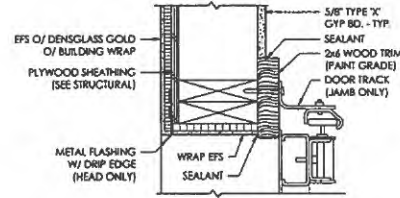


JAMB



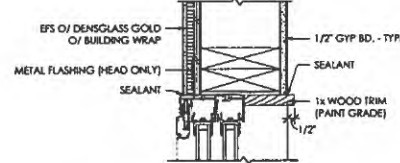
JAMB (STRICK)

⑦ INTERIOR POCKET DOOR DETAIL  
3/4" x 1'-0"

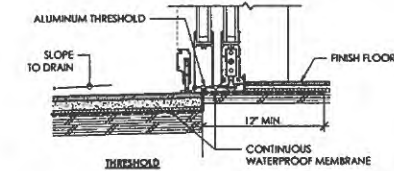


HEAD / JAMB (SIM.)

③ GARAGE DOOR DETAIL - EFS  
3/4" x 1'-0"

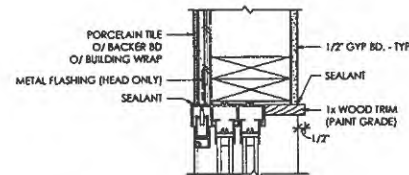


HEAD / JAMB (SIM.)



THRESHOLD

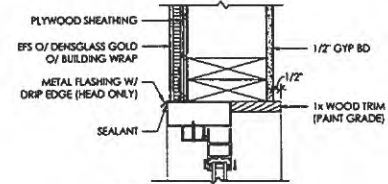
④ EXTERIOR BYPASS DOOR DETAIL - EFS  
3/4" x 1'-0"



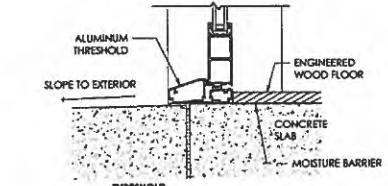
HEAD / JAMB (SIM.)

SEE DETAIL 6 FOR THRESHOLD

⑤ EXTERIOR BYPASS DOOR DETAIL - EFS  
3/4" x 1'-0"

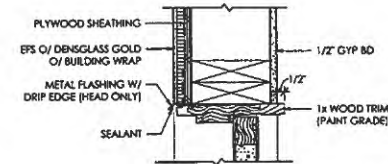


HEAD / JAMB (SIM.)

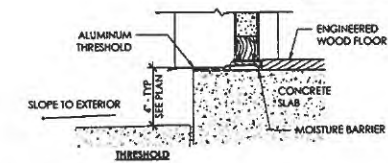


THRESHOLD

① EXTERIOR SWING ENTRY DOOR DETAIL  
3/4" x 1'-0"



HEAD / JAMB (SIM.)



THRESHOLD

② EXTERIOR SWING FIBERGLASS DOOR DETAIL  
3/4" x 1'-0"



**HUGH RESIDENCE**  
719 PUI PAKA DR. HONOLULU HI 96817  
TMK: 2-2-047-020

Revision	By	Date

**THE DOOR DETAILS**  
Project No. \_\_\_\_\_  
Date 4/16/21  
Drawn CH

**GLA**  
GREGORY LEWIS ARCHITECT, INC.  
3907 OLD PALU KAN  
HONOLULU, HI 96817  
P (808) 595-6044  
F (808) 595-2051

Drawing No. **A501**

**Flashing Systems**

**INSTALLATION GUIDELINES**

**INSTALLATION GUIDELINES for DuPont® Flashing Systems with integral flanged windows AFTER weather-resistive barrier is installed.**

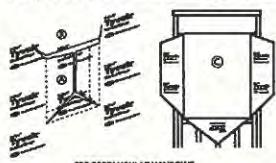
DuPont® Flashing and DuPont® StraightFlash® are highly engineered flashing tapes designed to be compatible with Tyvek® Weatherization Systems products. For additional weather-resistive protection, we suggest you use Tyvek® Housewrap®, Tyvek® Sheetrockwrap® or Tyvek® CommercialWrap®, DuPont® Tyvek® Tape, and Tyvek® V-Wrap Caps.

**GENERAL INSTRUCTIONS:**

- DuPont® Flashing and StraightFlash® should be installed on clean, dry surfaces. Adhesive surfaces to remove moisture, dirt, grease and other debris that could interfere with adhesion.
- Apply pressure along entire surface for a good bond.
- Remove all wrinkles and bubbles by smoothing surface and reapplying as necessary.
- DO NOT STRETCH DuPont® Flashing WHEN INSTALLING.
- DuPont® Flashing can perform best when installed at temperatures above 40°F (4°C).
- For additional guidelines and suggested loads, please call 1-800-41-TYVEK (823-446-8032).

**STEP 1 PREPARE WEATHER-RESISTIVE BARRIER FOR WINDOW OR DOOR INSTALLATION:**

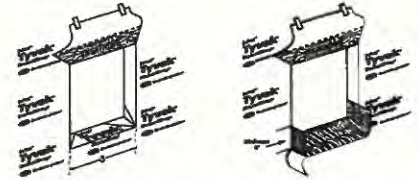
- Make a modified "Z-Cut" in the weather-resistive barrier. Begin with a horizontal cut across the top of the window frame. For flashing installation, the cut should be 2" above the wall plate (see 2). From the corner and straight down about two-thirds of the way then angling the cut to each corner (see 3).
- Cut a flap above the rough opening to assist in aligning or framing members and allow head flashing installation. Head flashing should adhere to exposed sheathing or framing members.
- Fold side and bottom flaps into rough opening and secure. The head flap up and temporarily secure.



FOR RECTANGULAR WINDOWS

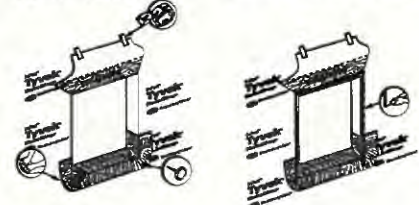
**STEP 2**

- Cut DuPont® Flashing at least 1" longer than width of rough opening all 51.
- Remove last piece of release paper, cover horizontal sill by aligning leading edge of sill, and adhere into rough opening across sill and up jamb both 52. Cover horizontal sill by aligning leading edge of sill, and adhere into rough opening across sill and up jamb both 52. Cover horizontal sill by aligning leading edge of sill, and adhere into rough opening across sill and up jamb both 52.
- Remove second release paper.



**STEP 3**

- For DuPont® Flashing at bottom corners only face of wall.
- Ready press off leading to ensure full adhesion.
- SECURE FRAMED EDGES WITH MECHANICAL FASTENERS. (i.e. Cap nails, screws, screws, etc.)



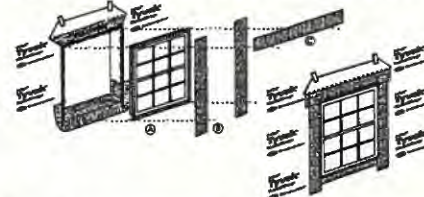
**STEP 4**

- Apply continuous bead of caulk to wall or back side of window mounting flange across jamb and head, set back bottom of flange unadhered.
- DO NOT APPLY CAULK ACROSS BOTTOM SILL FLANGE.

**FOR RECTANGULAR WINDOWS**

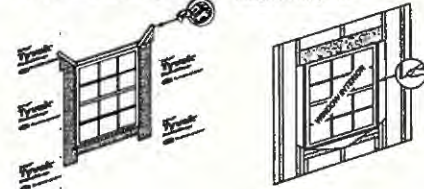
**STEP 5**

- Install intermediate according to manufacturer's instructions. (Shown when 5)
- Cut one piece of DuPont® StraightFlash® or Flashing® for jamb flashing extending 1" above window head flange and below bottom edge of sill flashing. Remove release paper and press tightly along side of window frame. Illustration 51
- Get a piece of DuPont® StraightFlash® or Flashing® for head flashing, which extends beyond outer edge of jamb flashing. Remove release paper and install completely covering mounting flange and adhering to exposed sheathing or framing members. Illustration 52



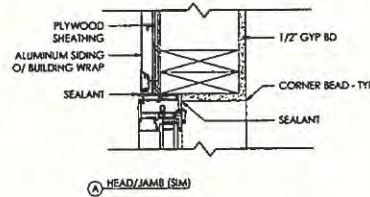
**STEP 6**

- Flip down upper flap of weather-resistive barrier so it lays flat across head flashing.
- Seal along all cuts in weather-resistive barrier and across head of the window with DuPont® Tyvek® Tape.

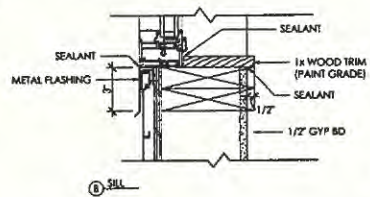


**STEP 7**

- Depth backing (back-sill) is necessary to seal rear of window frame to double of rough opening across bottom and a minimum of 12" up the side to form a back dam. To do so seal around the window opening, caulk completely around the back edge of the window products.

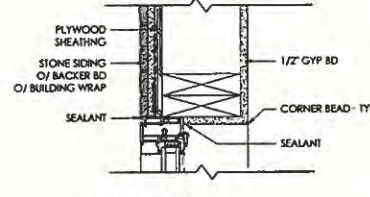


A HEAD/JAMB (S/M)

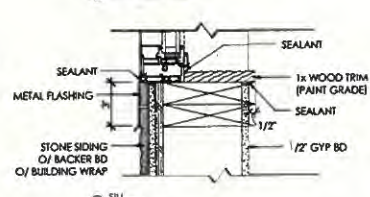


B SILL

WINDOW DETAIL - ALUMINUM SIDING  
3/8" x 1/4"

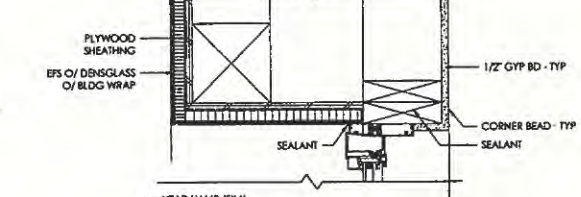


A HEAD/JAMB (S/M)

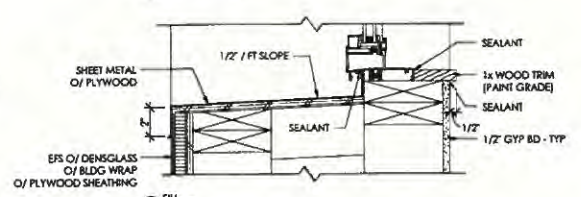


B SILL

WINDOW DETAIL - STONE VENEER SIDING  
3/8" x 1/4"

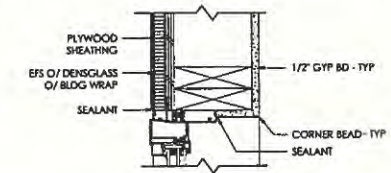


A HEAD/JAMB (S/M)

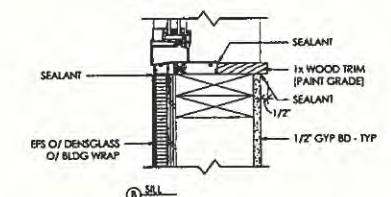


B SILL

WINDOW DETAIL - EFS  
3/8" x 1/4"

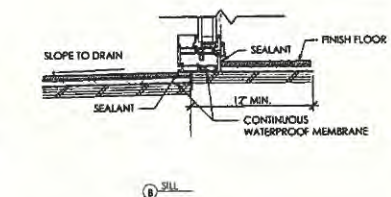


A HEAD/JAMB (S/M)



B SILL

WINDOW DETAIL - EFS  
3/8" x 1/4"



B SILL

WINDOW DETAIL - SILL  
3/8" x 1/4"



**HUGH RESIDENCE**  
3/8 PUU PAKA DR., HONOLULU HI 96817  
TMK: 2-2-047-020

Revision	By	Date
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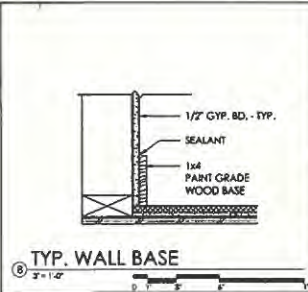
WINDOW FLASHING & DETAILS  
Title  
Project No.  
Date 4/16/21  
Drawn CH



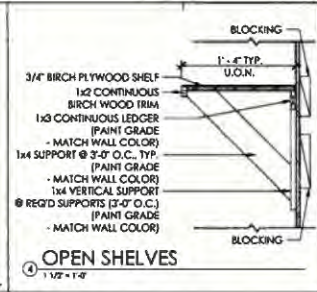
GEORGE LEWIS ARCHITECT, INC.  
10083  
P.O. BOX 594-004  
HONOLULU, HI 96817  
F (808) 595-2001

Drawing No. **A502**

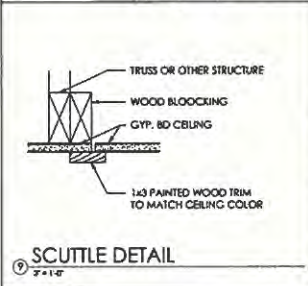




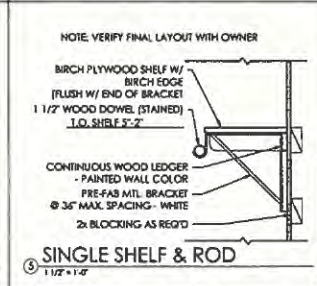
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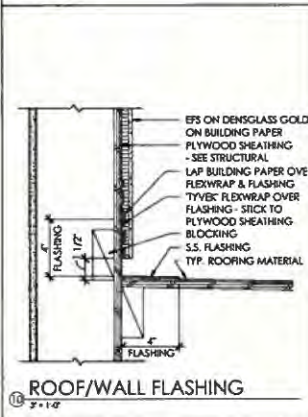
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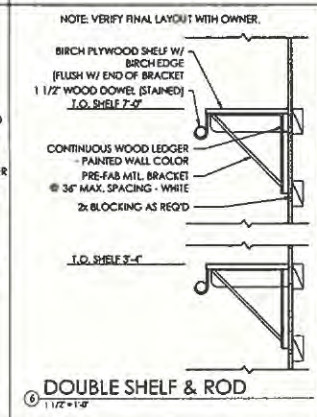
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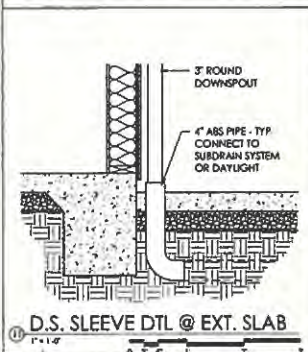
11 SINGLE SHELF & ROD  
1 1/2\"/>



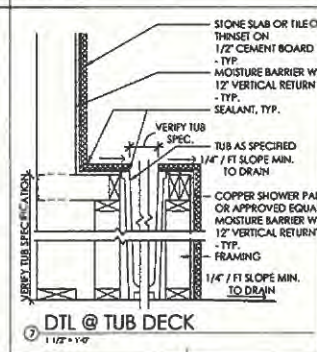
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13 DOUBLE SHELF & ROD  
1 1/2\"/>



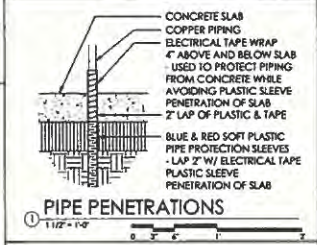
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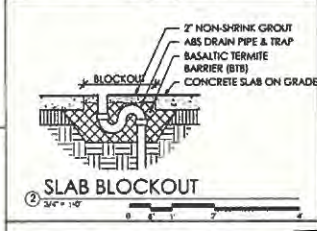
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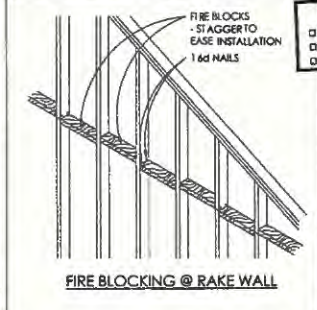
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17 SLAB BLOCKOUT  
2\"/>



18 FIRE BLOCKING @ RAKE WALL  
3\"/>



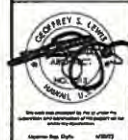
19 FIRE BLOCKING @ SOFFIT  
3\"/>

PROVIDE FIRE BLOCKING AS PER IRC SECTION R602.8. FIRE BLOCKING IS REQUIRED IN WALL FRAMING EVERY 10' BOTH HORIZONTALLY AND VERTICALLY. FIRE BLOCKING IS ALSO REQUIRED AT ALL INTERIOR SOFFITS, STAIR STRINGERS, CHASES AND CHIMNEYS.

**HUGH RESIDENCE**  
551 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

Revision	By	Date

DETAILS	
Project No.	4/16/21
Date	4/16/21
Drawn	KN



**GLA**  
COURTNEY LEWIS ARCHITECT, INC.  
1000 OLD PALM BLVD.  
HONOLULU, HI 96817  
P (808) 595-5004  
F (808) 595-5061

Drawing No. **A600**

# GENERAL NOTES

## 1. INTENT OF DRAWINGS

- A. THE GENERAL NOTES APPLY TO ALL STRUCTURAL WORK UNLESS NOTED OTHERWISE ON SPECIFIC DETAILS.
- B. ITEMS IN THE PROJECT SPECIFICATIONS, BUT NOT SHOWN ON THE DRAWINGS, SHALL BE CONSIDERED AS BEING PART OF THE DRAWINGS.
- C. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS WITH EACH OTHER AND REPORT IN WRITING TO THE ENGINEER ALL ERRORS INCONSISTENCIES OR OMISSIONS.
- D. RESOLVE CONFLICTS AND AMBIGUITIES ON PLANS AND SPECIFICATIONS WITH THE ENGINEER BEFORE PROCEEDING WITH MATERIAL FABRICATION AND CONSTRUCTION.
- E. THE STRUCTURAL DRAWINGS SHOW ONLY THE BASIC STRUCTURE. REFER TO ARCHITECTURAL AND OTHER ENGINEERING DRAWINGS FOR NON-STRUCTURAL ITEMS WHICH REQUIRE SPECIAL PROVISIONS DURING THE CONSTRUCTION OF THE STRUCTURE.
- F. DETAILS NOTED AS TYPICAL ON STRUCTURAL DRAWINGS SHALL APPLY IN ALL CONDITIONS UNLESS NOTED OTHERWISE.

## 2. CODE

DESIGN OF THE PROJECT IS IN ACCORDANCE WITH THE IBC-2012, AS AMENDED BY C&C OF HONOLULU.

## 3. SPECIAL INSPECTION

- A. THE OWNER SHALL PROVIDE SPECIAL INSPECTION AS REQUIRED BY THE IBC.
- B. THE CONTRACTOR SHALL GIVE THE INSPECTOR 72 HOURS ADVANCE NOTICE PRIOR TO INSPECTION AND SHALL FACILITATE THE PROCESS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PERTINENT TO HIS WORK PRIOR TO MATERIAL FABRICATION AND CONSTRUCTION. FIELD CONDITIONS DIFFERENT FROM THOSE NOTED ON THE DRAWINGS SHALL BE PROMPTLY BROUGHT TO THE ENGINEER'S ATTENTION. PROVIDE SPECIAL INSPECTION FOR: CONCRETE, REINFORCING, AND HIGH STRENGTH BOLTING

## 4. DESIGN LOADS

- A. DESIGN LOADS SHALL BE AS STATED HEREIN. WHERE LOADS ARE NOT SPECIFICALLY NOTED, REQUIREMENTS OF 2008 IBC SHALL APPLY.
- B. WIND LOADS: 130 MPH, COMPONENTS AND CLADDING
- C. SEISMIC FORCES: 1.0, SEISMIC DESIGN CATEGORY D.
- D. ROOF LIVE LOAD: ROOF LOADS = 20 PSF, WITH IBC TRIBUTARY AREA REDUCTION ALLOWANCE.  
FLOOR LOADS = 20 PSF, WITH IBC TRIBUTARY AREA REDUCTION ALLOWANCE.  
LANAI LOADS = 20 PSF, WITH IBC TRIBUTARY AREA REDUCTION ALLOWANCE.

## 5. CONCRETE

- A. AT 28 DAYS, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF:
  - 1. CONC FOOTINGS 4,000 PSI
  - 2. SLABS 4,000 PSI
  - 3. ALL OTHER 3,000 PSI
- B. CEMENT SHALL CONFORM TO ASTM C150, TYPE II.
- C. AGGREGATES SHALL CONFORM TO ASTM C33.
- D. ANCHOR BOLTS AND MACHINE BOLTS SHALL CONFORM TO ASTM A307.
- E. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- F. WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY LATEST EDITION.
- G. UNLESS OTHERWISE SHOWN ON THE DRAWING:
  - 1. CONCRETE COVER FOR REINFORCING STEEL SHALL BE:
    - a. 3" FOR SURFACES CAST AGAINST EARTH.
    - b. 2" FOR FORMED SURFACES EXPOSED TO EARTH OR WEATHER.
    - c. 1" FOR SLAB SURFACE NOT EXPOSED TO EARTH, OR WEATHER.
    - d. 1-1/2" FOR ALL OTHER SURFACES.
  - 2. CHAMFER ALL EXPOSED CONCRETE EDGES 3/4".
- H. HORIZONTAL CONSTRUCTION JOINTS SHALL BE ROUGHENED TO 1/4" AMPLITUDE. REMOVE LANTANCE AND BLOW THE SURFACE CLEAN BEFORE PLACEMENT OF ADJACENT CONCRETE, UNLESS NOTED OTHERWISE.
- I. REINFORCING SHALL BE SPLICED ONLY WHERE INDICATED ON DRAWINGS. SPLICES SHALL CONFORM TO ACI 318-89.

## 6. SOILS AND FOUNDATION

- A. ALLOWABLE DESIGN VALUES ARE BASED ON THE REPORT BY "KOKUA GEOTECH LLC" DATED 3/17/2020. FOLLOW ALL RECOMMENDATIONS IN THIS REPORT. SOIL BEARING CAPACITY = 2500 psf

## 7. COORDINATION

ALL PIPING, CONDUIT, FLOOR DRAIN AND FOOTING PENETRATIONS SHALL BE VERIFIED WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE COMMENCING CONSTRUCTION.

## 8. SPECIAL INSPECTION NOTES

- A. SPECIAL INSPECTION PROVISIONS OF THE SECTION 1704 OF THE 2009 INTERNATIONAL BUILDING CODE GOVERN PORTIONS OF THE STRUCTURAL WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. THE SPECIAL INSPECTOR SHALL BE HIRED BY THE OWNER.
- B. THE FOLLOWING STRUCTURAL WORK FOR THIS PROJECT REQUIRE SPECIAL INSPECTIONS:
  - 1. CONCRETE
  - 2. BOLTS INSTALLED IN CONCRETE
  - 3. REINFORCING STEEL
  - 4. STRUCTURAL WELDING
  - 5. HIGH STRENGTH BOLTING STEEL
  - 6. MOMENT FRAMES
- C. THE MINIMUM RESPONSIBILITIES OF THE SPECIAL INSPECTOR SHALL BE OUTLINED IN THE "SPECIAL INSPECTION RECOMMENDED STANDARD OF PRACTICE", 2ND EDITION, PUBLISHED BY THE STRUCTURAL ENGINEERS ASSOCIATION OF HAWAII.
- D. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OF ALL ITEMS REQUIRING SPECIAL INSPECTION A MINIMUM OF 48 HOURS IN ADVANCE.
- E. SPECIAL INSPECTIONS DO NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITIES TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND TO BE RESPONSIBLE FOR THE SAFETY OF THE JOBSITE.
- F. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT TO THE BUILDING DEPARTMENT, ARCHITECT, STRUCTURAL ENGINEER AND OWNER STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF HIS/HER KNOWLEDGE, IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE BUILDING CODE.
- G. THE SPECIAL INSPECTOR SHALL BE CERTIFIED AS A SPECIAL INSPECTOR BY THE BUILDING DEPARTMENT OR THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).

## 9. STRUCTURAL STEEL NOTES

- A. UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL MEMBERS, BOLTS, ANCHOR BOLTS, ETC., SHALL CONFORM TO:
  - 1. W-SHAPES: ASTM A992, GRADE 50
  - 2. RECTANGULAR HSS: ASTM A500, GRADE B
  - 3. CHANNELS AND ANGLES: ASTM A36, GRADE 36
  - 4. BOLTS: ASTM A325, SLP CRITICAL TYPE X
  - 5. ANCHOR BOLTS: ASTM F1554, HOT-DIPPED GALVANIZED
  - 6. SHEAR CONNECTORS: HEADED STUDS TYPE, ASTM A108, GRADE 1015 OR 1020
  - 7. STRUCTURAL STEEL PLATES: ASTM A36, GRADE 36
- B. ALL WELDING, WHETHER SHOP OR FIELD WELDING, SHALL BE DONE BY CERTIFIED WELDERS ONLY.
- C. UNLESS SHOWN OTHERWISE ALL CONNECTIONS SHALL DEVELOP THE FULL STRENGTH OF MEMBER CONNECTED FOR SHEAR AND FLEXURE. PLATE INSERTS EMBEDDED IN CONCRETE SHALL HAVE THE ANCHORS (BARS OR RODS) FULLY WELDED TO DEVELOP THE FULL STRENGTH OF THE ANCHORS.
- D. UNLESS SHOWN OTHERWISE, ALL EMBEDDED BOLTS, ANCHORS, PLATES, INSERTS, ETC., SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
- E. ALL EXPOSED STRUCTURAL STEEL MEMBERS AND BOLTS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM F2329 FOR THREADED PARTS AND ASTM A123 FOR STRUCTURAL STEEL MEMBERS.

PLEASE PERMIT THIRD PARTY CERTIFICATION  
 BUILDING CODE     MECHANICAL CODE  
 ELECTRICAL CODE     FIRE PROTECTION CODE  
 STRUCTURAL NON-BUILDING SPECIALTIES

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**HUGH RESIDENCE**  
 1411 PAAKA DR. HONOLULU HI 96817  
 TEL: 808-947-2020

Revised by Date

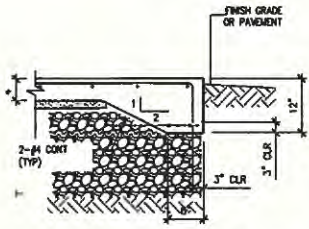
### GENERAL STRUCTURAL NOTES

Title  
 Project No.  
 Date 4/16/21  
 Design FK/BK

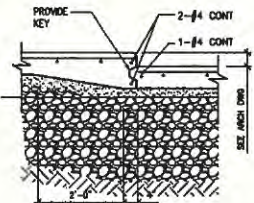
**LEWIS ARCHITECT, INC.**  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 1566  
 HAWAII, U.S.A.

**LEWIS ARCHITECT, INC.**  
 1808 395-0046  
 1807 OLD PALM ROAD  
 HONOLULU, HI 96817

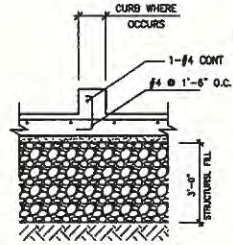
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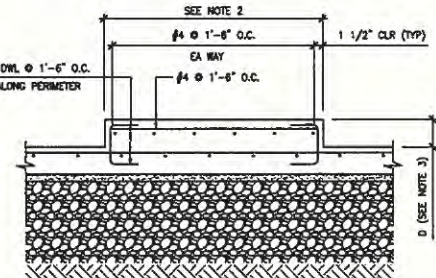
**A AT EXTERIOR EDGE**  
8002 SCALE: NOT TO SCALE



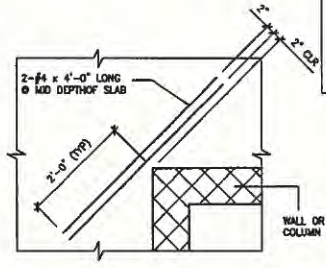
**B DEPRESSED SLAB < 3"**  
8002 SCALE: NOT TO SCALE



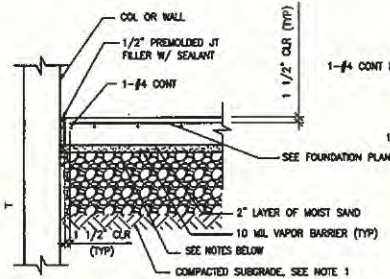
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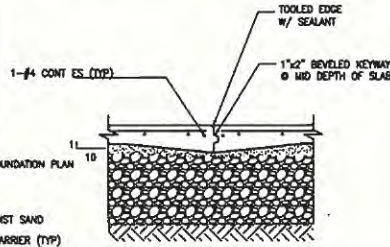
**D AT EQUIPMENT PADS**  
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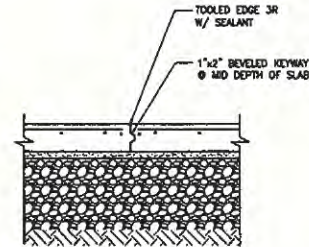
**E REINF AT REENTRANT CORNER**  
8002 SCALE: NOT TO SCALE



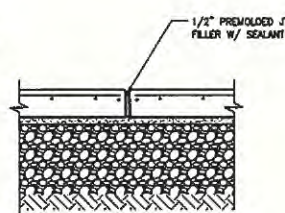
**F ISOLATION JOINT**  
8002 SCALE: NOT TO SCALE



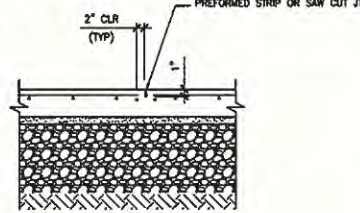
**G CONSTRUCTION JOINT**  
8002 SCALE: NOT TO SCALE



**H CONSTRUCTION JOINT**  
8002 SCALE: NOT TO SCALE



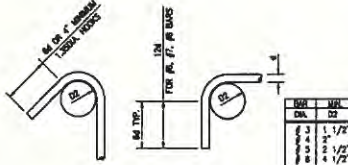
**I EXPANSION JOINT**  
8002 SCALE: NOT TO SCALE



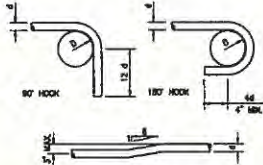
**J CONTROL JOINT C.J.**  
8002 SCALE: NOT TO SCALE

- NOTES:**
1. SLAB ON GRADE SHALL REST ON MINIMUM 2 FOOT OF COMPACTED GRANULAR ENGINEERED FILL.
  2. SAW CUT GRADE SLAB AS SOON AS POSSIBLE WITHOUT DAMAGING SLAB BUT NO LATER THAN 8 HOURS AFTER CONCRETE POUR.
  3. PAD DIMENSIONS SHALL BE DETERMINED FROM THE OVERALL ENVELOP OF EQUIPMENTS.
  4. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR EQUIPMENT PAD DEPTH.
  5. DELETE VAPOR BARRIER AT EXTERIOR SLAB-ON-GRADE AREAS.

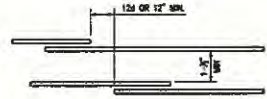
**1 TYPICAL SLAB ON-GRADE DETAILS**  
8002 SCALE: 1"=1'-0"



**2 TIE OR STIRRUPS**  
8002 SCALE: NOT TO SCALE



**3 PRINCIPAL REINFORCING**  
8002 SCALE: NOT TO SCALE



**4 WALL OR SLAB SPLICE**  
8002 SCALE: NOT TO SCALE

**NOTES:**  
ALL BENDS SHALL BE MADE COLD.

**DELTA ENGINEERING**  
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1110 PALKA DR. HONOLULU HI 96817  
DATE: 2/20/2020

TYPICAL  
STRUCTURAL  
DETAILS-1

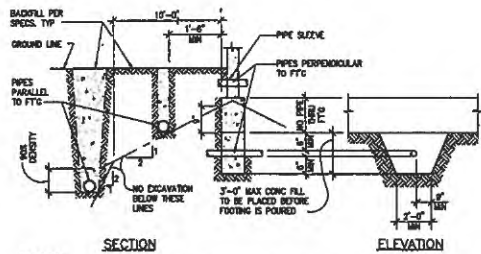
Project No: 4/16/21  
Drawn: FK/BK

BRUNNEN ENGINEERING  
LICENSED PROFESSIONAL ENGINEER  
NO. 15847  
KYLE W. BRUNNEN  
REGISTERED PROFESSIONAL SEAL  
Member Since: 2002

**GLAI**  
GEOFFREY LEWIS ARCHITECT, INC.  
11008 375-0044  
1107 OLD PALUA RD  
HONOLULU, HI 96817

PALPANA PERMITS  
THIRD PARTY CERTIFICATION  
 ALL IN THE ZONE  CIVIL ENGINEER  
 MECHANICAL ENGINEER  ELECTRICAL ENGINEER  
 STRUCTURAL ENGINEER  FOUNDATION ENGINEER

Sheet No.  
**S002**

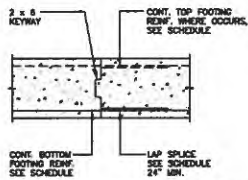


**NOTES:**

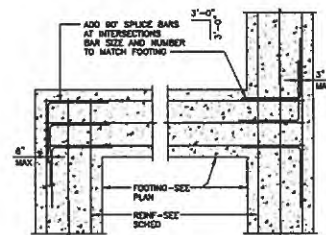
1. FOR PIPE PERPENDICULAR TO FOOTING, MORE THAN 3'-0" BELOW BOTTOM OF FOOTING TRENCH MAY BE BACKFILLED WITH COMPACTED FILL PER SOIL REPORT.
2. DEPTH OF FOOTING MAY BE AFFECTED BY LOCATION OF PIPES. ORIGINAL CONTRACTOR SHALL DETERMINE EXACT DEPTH AND LOCATION OF PIPES.

**1 TYP. PIPE @ FOOTING DETAIL**  
S003 SCALE: NTS

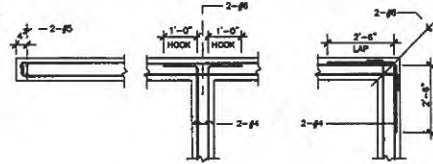
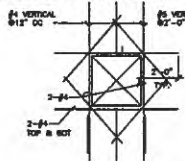
**2 TYP. FOOTING CONSTRUCTION JOINT DETAIL**  
S003 SCALE: NTS



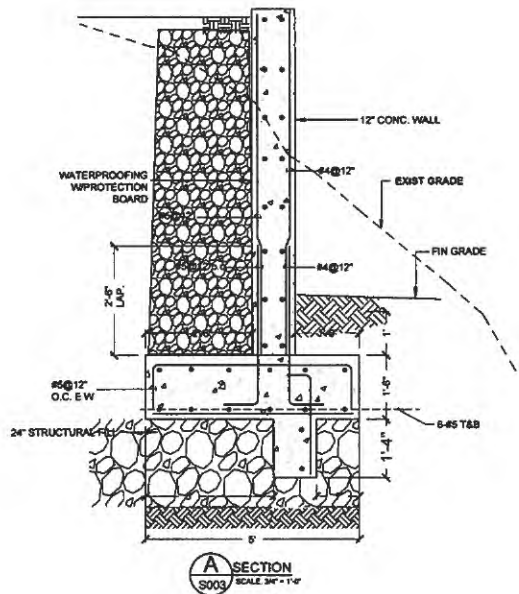
**3 TYP. FOOTING REINFORCING PLAN AT INTERSECTIONS-PLAN**  
S003 SCALE: NTS



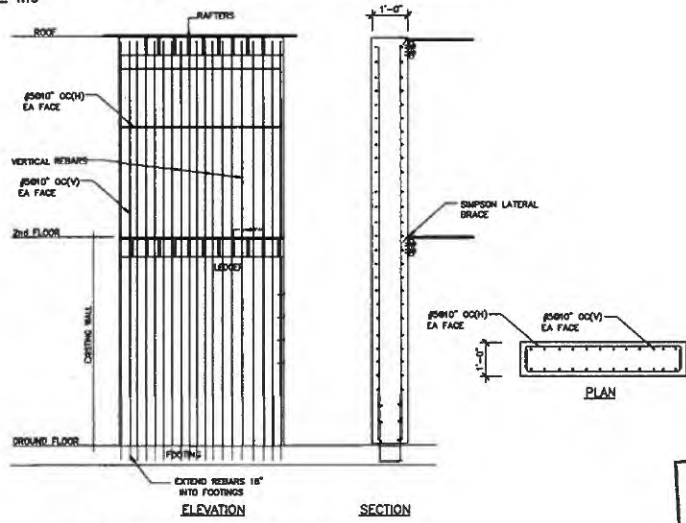
FOR SIZE OF OPENING SEE ARCH. PLANS



**4 CONC WALL DETAILS**  
S003 SCALE: NTS



**A SECTION**  
S003 SCALE: 3/4\"/>



**5 CONCRETE SHEAR WALL DETAIL**  
S003 SCALE: NOT TO SCALE

THIS EXAMINATION IS A THIRD PARTY CERTIFICATION. IT IS NOT A DESIGN OR CONSTRUCTION DOCUMENT. IT IS NOT A CONTRACT DOCUMENT. IT IS NOT A PERMIT TO CONSTRUCT.

**DELTA ENGINEERING**  
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1818 PAKA DR. HONOLULU HI 96817  
TMC 2-2-047/2020

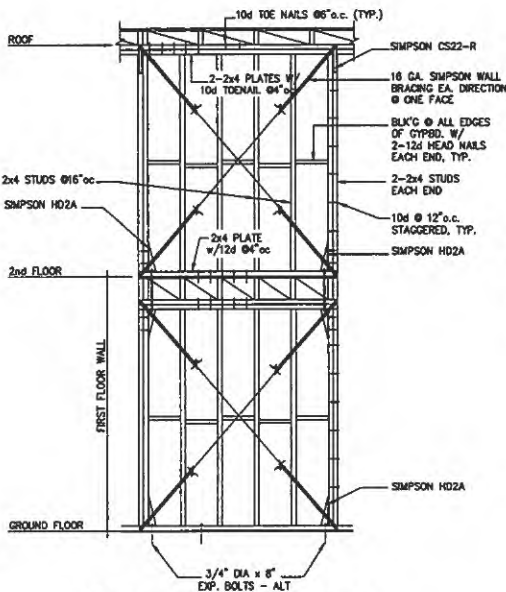
Revision: \_\_\_\_\_ By: \_\_\_\_\_ Date: \_\_\_\_\_

Project No: \_\_\_\_\_  
Date: 4/16/21  
Design: FK/BK

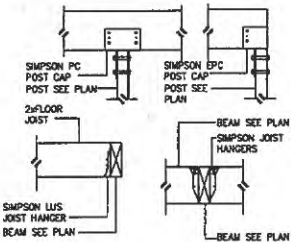
**REGISTERED PROFESSIONAL ENGINEER**  
No. 12127  
STATE OF HAWAII

**GLAI**  
GEORGE LEWIS ARCHITECT, INC.  
1818 PAKA DR.  
HONOLULU, HI 96817  
PHONE: 935-2001

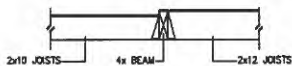
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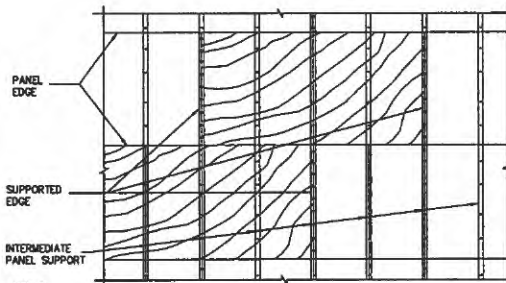
**4 TYP. SHEAR WALL DETAIL**  
SCALE: NOT TO SCALE



**9 TIMBER BEAM CONNECTION DETAIL**  
SCALE: NOT TO SCALE

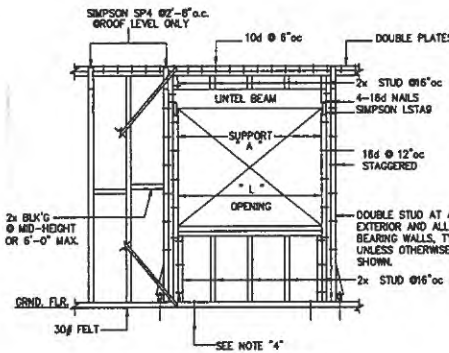


**10 DEPRESSED AREA DETAIL**  
SCALE: NOT TO SCALE



- NOTES:**
1. STAGGER LOCATION OF PANEL SUPPORTED EDGES AS PERMITTED.
  2. ALL PLYWOOD FLOOR PANELS SHALL BE GLUED TO FLOOR JOISTS.
  3. ROOF HANLING (MIN.):  
 10d @ 8"oc @ PANEL EDGE SUPPORT      10d @ 8"oc @ PANEL EDGE SUPPORT  
 10d @ 12"oc @ PANEL INTERM. SUPPORT      10d @ 10"oc @ PANEL INTERM. SUPPORT

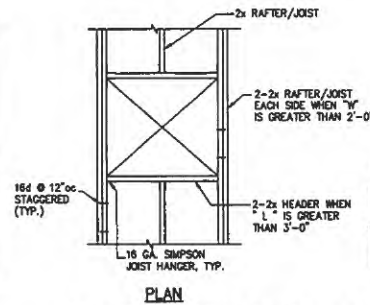
**3 HORIZONTAL DIAPHRAGM PANEL LAYOUT**  
SCALE: NOT TO SCALE



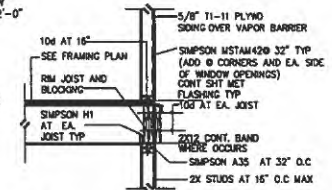
SUPPORT SCHEDULE	
"L" (CLR. OPG. OR SPAN)	"A" (SUPPORT)
6'-0" OR LESS	2x4 OR 2x6
6'-0" < L < 10'-0"	2-2x4 OR 2-2x6

- NOTES:**
1. SEE PLANS FOR UNTEL SIZES.
  2. DOUBLE TOP PLATE SPURGE SHALL BE 4'-0" MIN. WITH 6-16d NAILS EACH SIDE OF BUTT JOINT IN TOP PLATE.
  3. INSTALL 16 GA. SIMPSON WALL BRACING @25'-0" MAX. @ ALL STUD WALLS.
  4. ANCHOR BOLTS @ EXTERIOR & @ BEARING WALLS SHALL BE 3/4" DIAx10" ANCHORS WITH 2" BEND @ 32"oc, UNLESS OTHERWISE SHOWN.
  5. ALL STUD WALLS SHALL BE VERTICALLY PLUMB.
  6. SIZES INDICATED IN THE SUPPORT SCHEDULE ARE TYPICAL UNLESS OTHERWISE SHOWN.

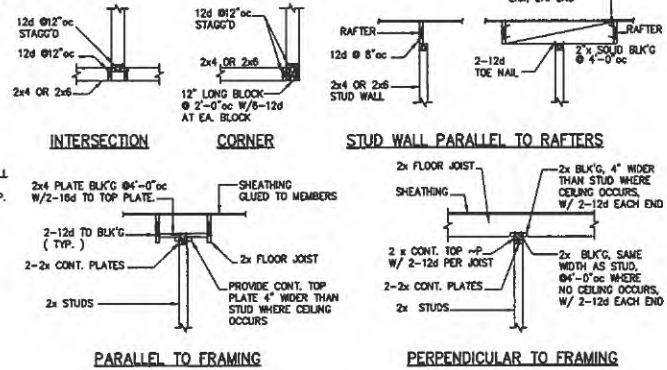
**7 TYPICAL BEARING WALL DETAIL**  
SCALE: NOT TO SCALE



**2 TYP. OPENING DETAIL**  
SCALE: NOT TO SCALE



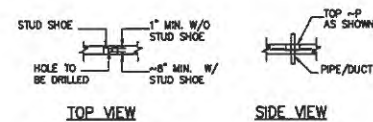
**1 TYP. SECTION AT PLATE AND JOIST**  
SCALE: NOT TO SCALE



PARALLEL TO FRAMING

PERPENDICULAR TO FRAMING

**5 TYPICAL NON-BEARING PARTITION DETAIL**  
SCALE: NOT TO SCALE



TOP VIEW

SIDE VIEW

- NOTE:**
1. CONDITION SHOWN IS @ PLATE. STUD CONDITION IS SIMILAR.
  2. WHERE EDGE DISTANCE IS LESS THAN 8", PROVIDE DOUBLE STUDS EACH SIDE OF PIPE OR DUCT AND STRAP PLATE WITH STRIPS.
  3. COMPLETE NOTCHING OF PLATES OR STUDS WILL NOT BE ACCEPTABLE.

**6 TYPICAL DETAIL @ HOLE THRU STUD OR PLATE**  
SCALE: NOT TO SCALE

APPROVALS

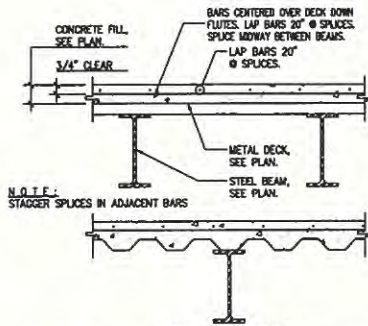
DESIGNED BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

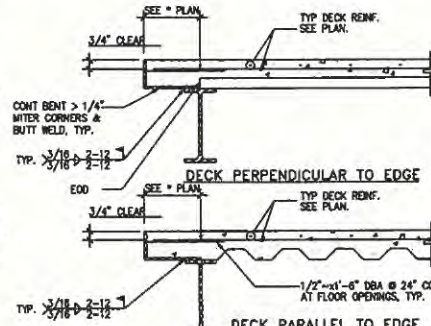
DATE: 4/16/21

PROJECT NO.: \_\_\_\_\_

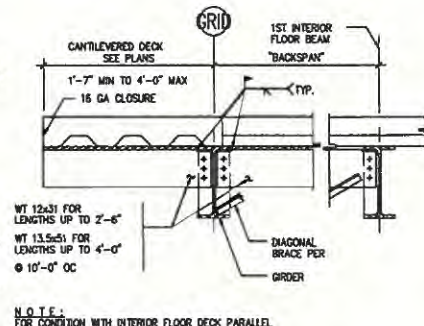
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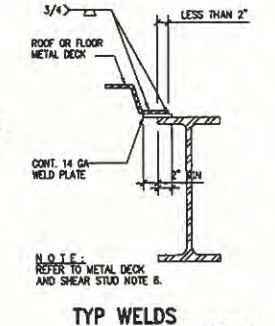
**1 TYP REIN FOR CONCRETE FILL OVER METAL DECK**  
 S005 SCALE: NONE



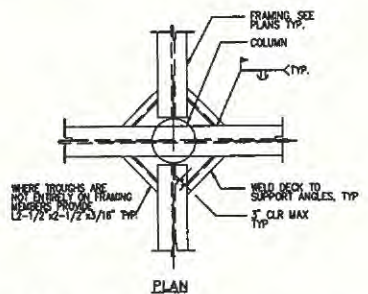
**2 TYP EDGE OF DECK DETAILS**  
 S005 SCALE: NONE



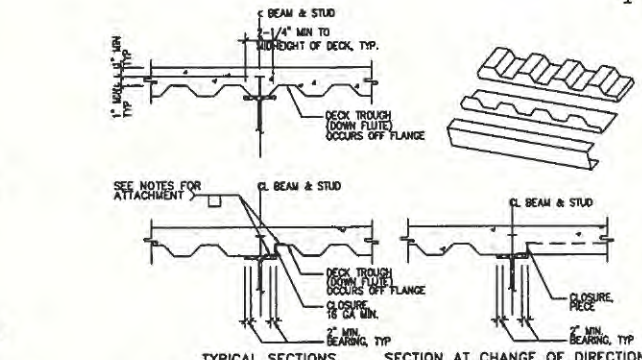
**3 TYPICAL EDGE OF DECK**  
 S005 SCALE: NONE



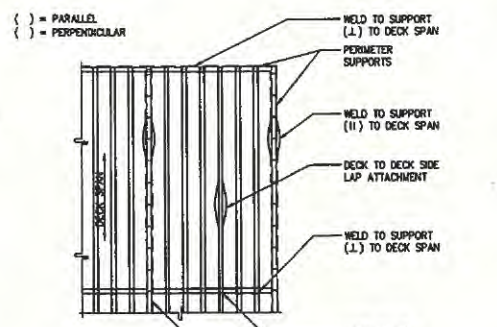
**4 TYP WELDS PARALLEL TO DECK WHERE SIDE BEARING IS LESS THAN 2"**  
 S005 SCALE: NONE



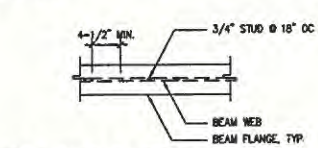
**5 DECK SUPPORT AT COLUMN**  
 S005 SCALE: NONE



**6 DECK AND SHEAR STUD PLACEMENT**  
 S005 SCALE: NONE



**7 DECK ATTACHMENT PATTERN**  
 S005 SCALE: NONE



**8 SHEAR STUD DETAILS**  
 S005 SCALE: NONE

II ( ) = PARALLEL  
 I ( ) = PERPENDICULAR

- METAL DECK & STUD NOTES:**
- FOR ADDITIONAL INFORMATION SEE GENERAL NOTES AND SPECIFICATIONS.
  - SEE PLANS FOR THICKNESS OF CONCRETE FILL OVER DECK.
  - UNLESS NOTED ON PLANS OR IN DECK SPECIFICATIONS, THE DETAILS AND NOTES ON THIS SHEET SHALL BE INCORPORATED INTO THE PRODUCT AT ALL LOCATIONS WHERE METAL DECK IS USED, WHETHER SPECIFICALLY CALLED OUT OR NOT.
  - WHEREVER POSSIBLE, DECK LAYOUT SHALL PROVIDE SHEETS OF SUFFICIENT LENGTH TO CONTINUOUSLY SPAN AT LEAST THREE SPANS.
  - SHORING MAY BE REQUIRED FOR METAL DECK AT ROOFS BY DECK MANUFACTURER. CONTRACTOR SHALL PROVIDE SUCH SHORING AT NO EXTRA EXPENSE. CONTRACTOR MAY USE A HEAVIER GAGE AS REQUIRED BY APPROVED MANUFACTURER TO AVOID SHORING.
  - DECK SHALL HAVE A MINIMUM OF 2" BEARING AT ALL SUPPORTING MEMBERS PERPENDICULAR AND PARALLEL TO DECK SPAN.
  - WHERE TWO ADJACENT DECK SHEETS ARE SUPPORTED BY ONE FRAMING MEMBER, EACH SHEET SHALL INDIVIDUALLY SATISFY THE REQUIREMENTS OF NOTE 6 AND OF THE ATTACHMENT REQUIREMENTS PER THESE NOTES.
  - DO NOT SUSPEND CEILING, PIPING, LIGHT FIXTURES, CONDUITS OR OTHER UTILITIES FROM DECK, AND DO NOT PLACE CONDUITS OR OTHER PIPES IN CONCRETE FILL OVER DECK.
  - ATTACHMENTS - PROVIDE:
    - 3/4" DIA. RIDGE WELD AT EACH TROUGH (12" O.C.) AND AT SIDE WELDS
    - SEAM WELDS SHALL BE TOP SEAM WELDS 1-1/2" LONG AT 24" O.C.
    - SEE DETAIL 7

PALEONATI/PROFFI  
 THIRD PARTY CERTIFICATION  
 ARCH/COSE  ELECTRICAL CODE  
 MECHANICAL CODE  STRUCTURAL CODE  
 STRUCTURAL FOR BIDDING ONLY (ONES-HOUSING)

**DELTA ENGINEERING**  
 PO BOX 187255  
 HONOLULU, HAWAII 96818  
 TEL: 243-2472  
 WWW.DELTAENGINEERING.COM

**HUGH RESIDENCE**  
 1411 PAU PAKA DR. HONOLULU HI 96817  
 HMC 22-047202

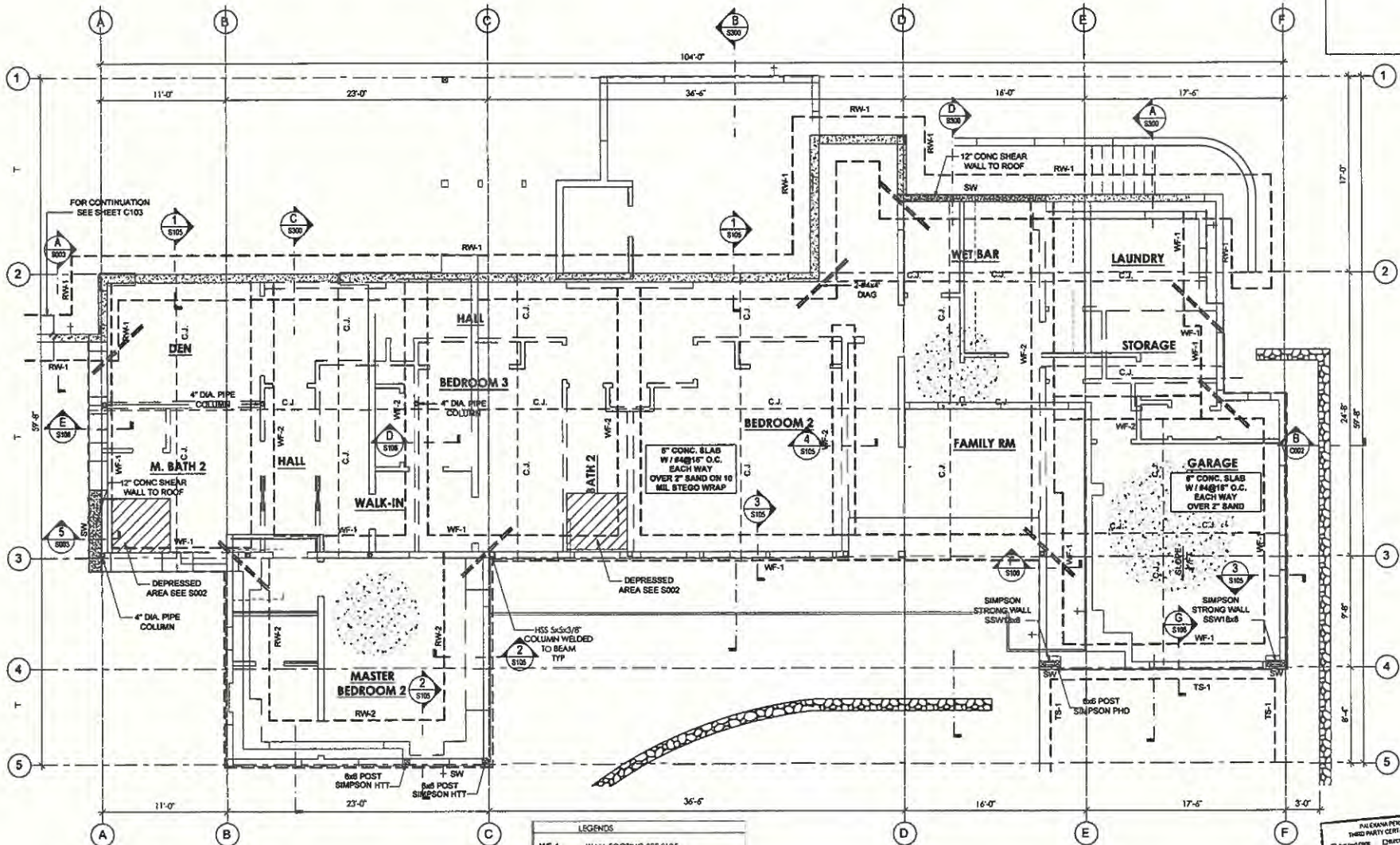
TYPICAL STRUCTURAL DETAILS-4

Title: \_\_\_\_\_  
 Project No.: \_\_\_\_\_  
 Date: 4/16/21  
 Design: FK/BK

REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 10171  
 DELTA ENGINEERING  
 HONOLULU, HAWAII

**DELTA ARCHITECT**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 PHOENIX 954-6644  
 2927 OLD PAU ROAD  
 HONOLULU, HI 96817

Drawing No: **S005**



**1 LOWER FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0"  
 0 1' 2' 4' 6'

LEGENDS	
WF-1	WALL FOOTING SEE S105
TS-1	THICKENED SLAB SEE S105
RW-1	RETAINING WALLS SEE S125
C.J.	CONTROL JOINTS SEE S232
SW	PLYWOOD SHEAR WALLS SEE S324 OR CONC SHEAR WALLS SEE S322

**DELTA ENGINEERING**  
 100 BOX 101225  
 HONOLULU, HAWAII, 96816  
 TEL: 208-944-1000  
 WWW.DELTA-ENG.COM

**HUGH RESIDENCE**  
 1110 PALA DR, HONOLULU HI 96817  
 TNC-2-2047020

Revision By Date

**LOWER FOUNDATION PLAN**

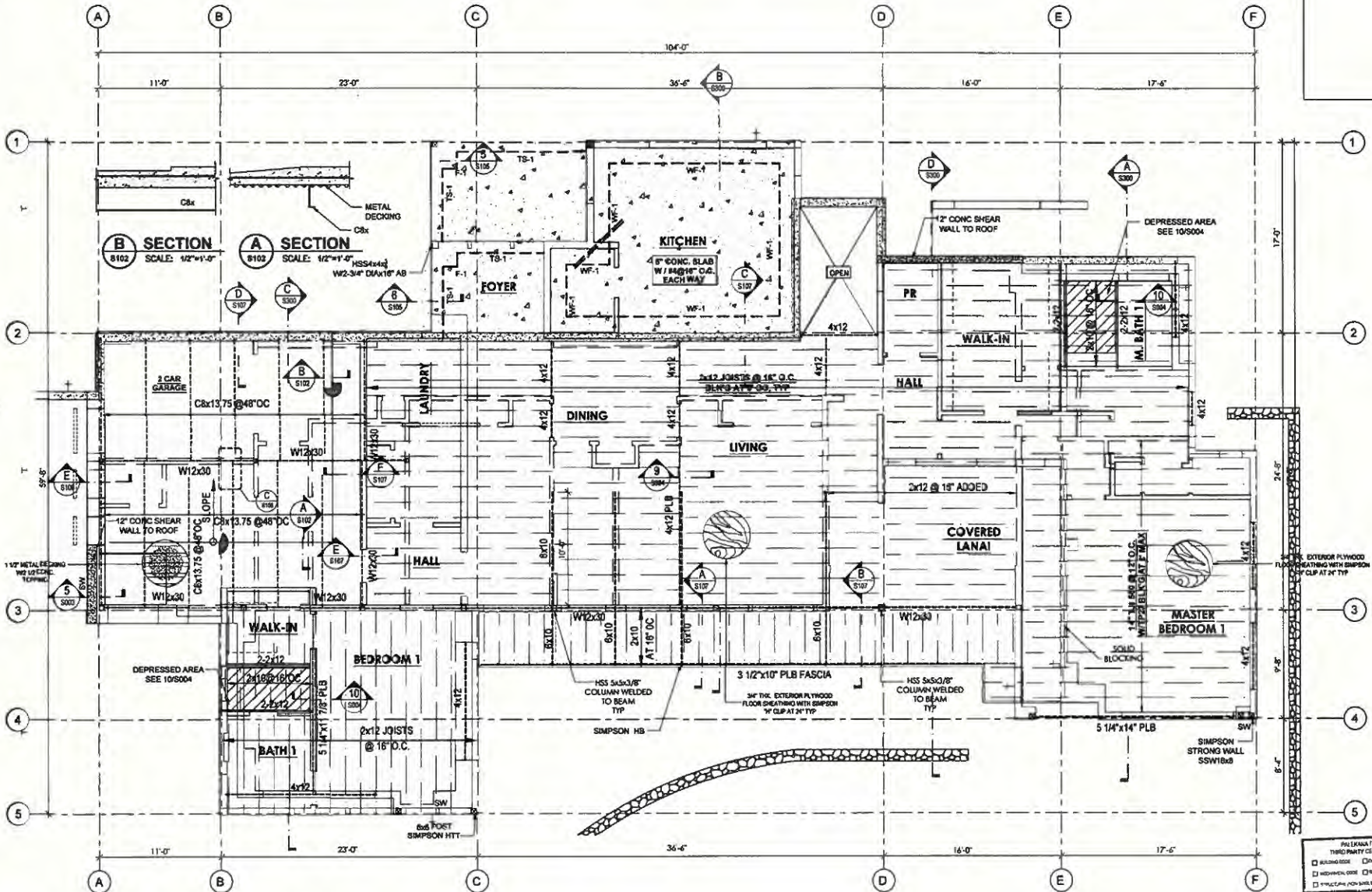
Project No. \_\_\_\_\_  
 Date 4/16/21  
 Project FK/BK



DATE: 4/16/21  
 GEORFREY LEWIS ARCHITECT INC.  
 (808) 975-0046  
 2927 OLD PALU ROAD  
 HONOLULU, HI 96817

**DELTA ENGINEERING**  
 GEORFREY LEWIS ARCHITECT INC.  
 (808) 975-0046  
 2927 OLD PALU ROAD  
 HONOLULU, HI 96817

Drawing No. **S101**



**1 SECOND FLOOR FRAMING PLAN**

8102 SCALE: 1/4"=1'-0"  
0 1' 2' 4' 8'

**DELTA ENGINEERING**  
HUGH RESIDENCE  
745 PUA PALA DR. HONOLULU HI 96817  
TEL: 281-1199 FAX: 281-8750  
WWW.DELTAENGINEERING.COM

Revision: \_\_\_\_\_ By: \_\_\_\_\_ Date: \_\_\_\_\_

SECOND FLOOR FRAMING PLAN

Title: \_\_\_\_\_  
Project No.: 4/16/21  
Date: \_\_\_\_\_  
Drawn: FK/BK



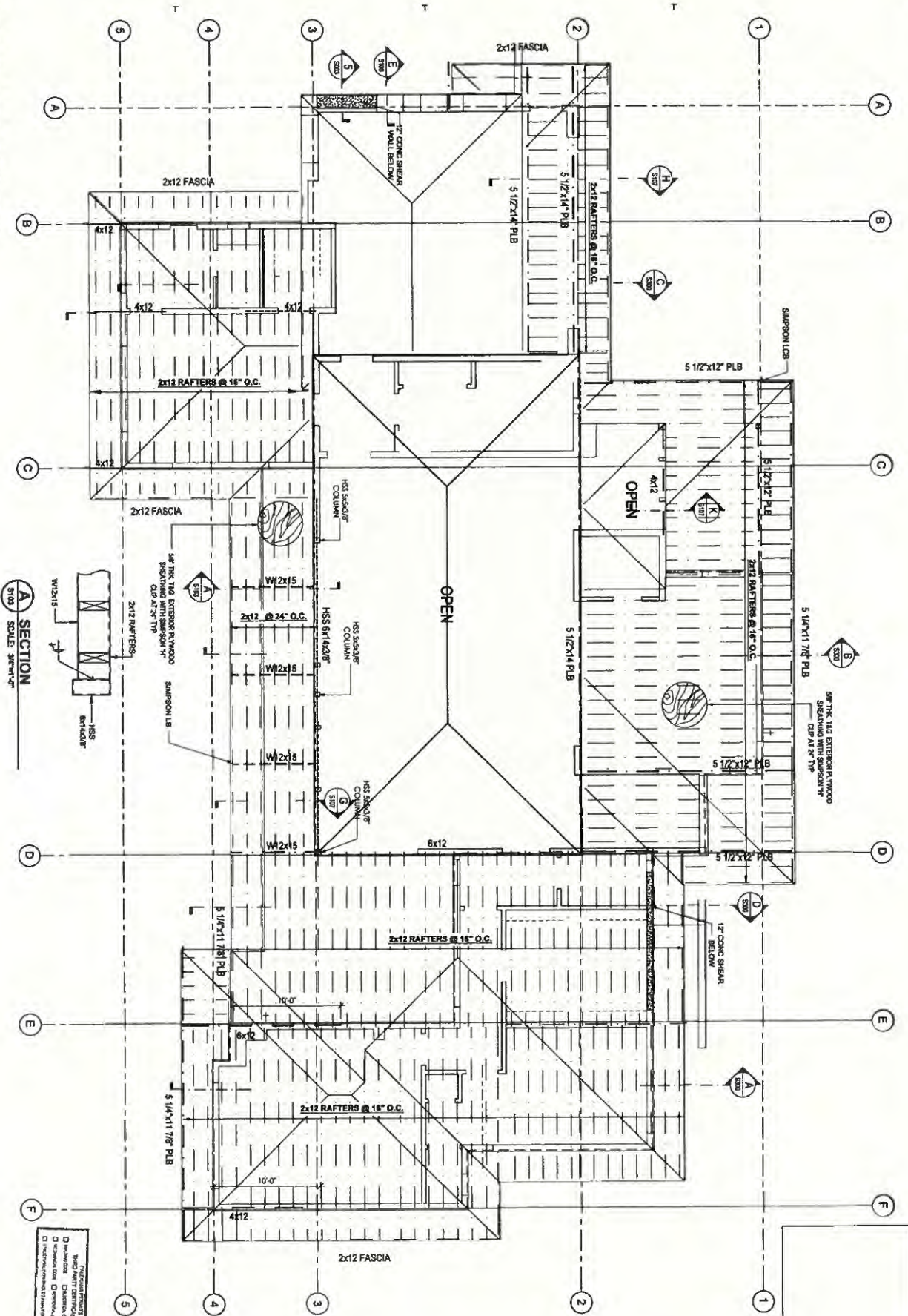
**DELTA ENGINEERING**  
GREGORY LEWIS ARCHITECT INC.  
1922 OLD PALM ROAD  
HONOLULU, HI 96817  
F (808) 575-4048  
F (808) 575-2081

Drawing No. **S102**

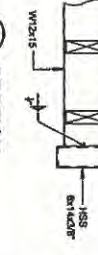
PAK KANA PERMITS  
THIRD PARTY CERTIFICATION  
 ARCHING CODE  CIVIL ENGINE CODE  
 MECHANICAL CODE  ELECTRICAL CODE  
 FIRE/ALARM/NOTICE/DOOR/EXIT/STAIRWAYS



**1 LOW ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0"  
 S103



**A SECTION**  
 SCALE: 3/8"=1'-0"

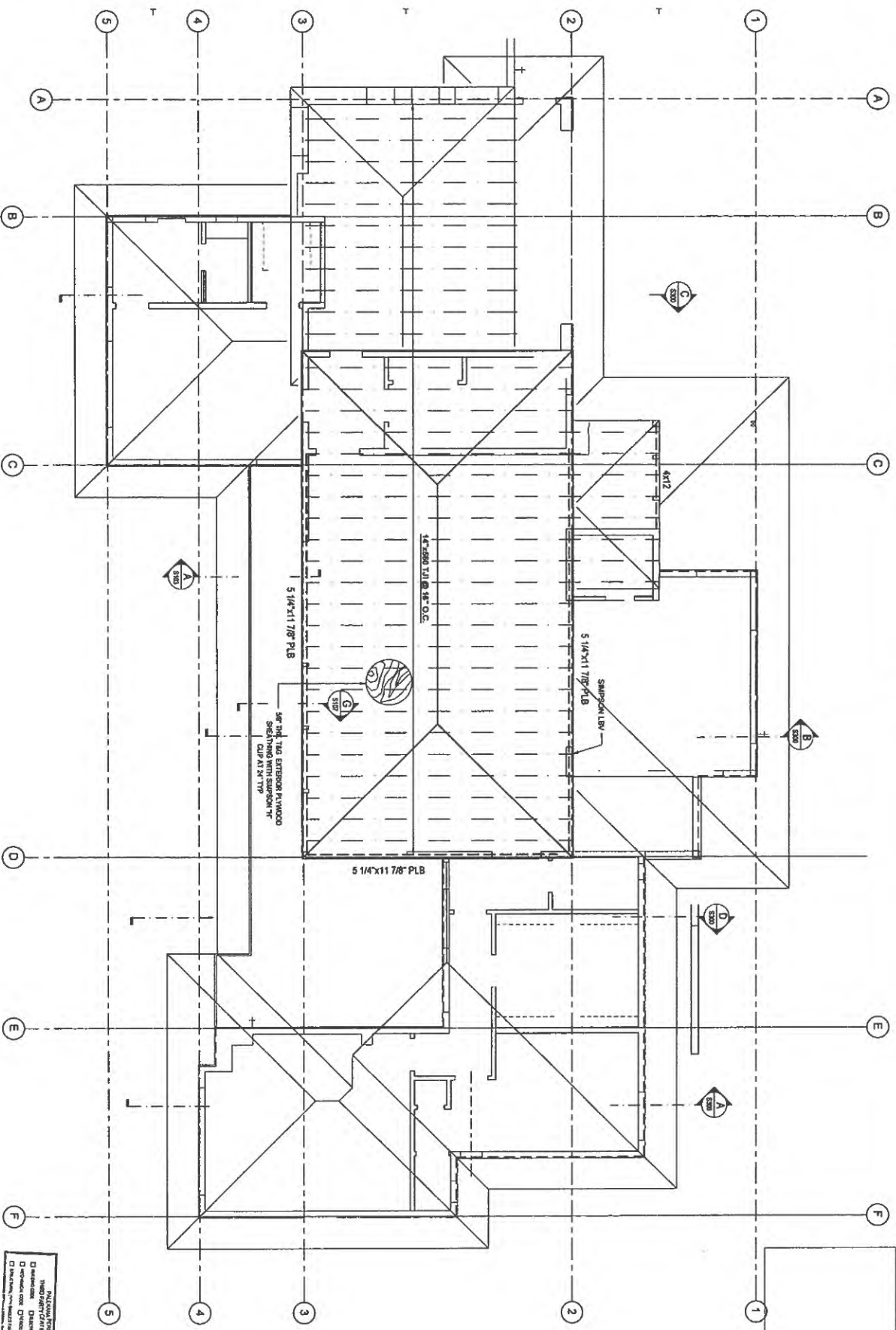


PROFESSIONAL ENGINEER  
 HUGH RESIDENCE  
 P. 18081 595-4046  
 C. 18081 595-2061  
 HONOLULU, HI 96817

<p><b>GLAI</b>                  GEOFFREY LEWIS ARCHITECT, INC.                  3927 OLD PAUL ROAD                  HONOLULU, HI 96817</p>	<p><b>HUGH RESIDENCE</b>                  315 PUKU PAKA DR. HONOLULU HI 96817                  TMK: 2-2-047-020</p>	<p><b>DELTA ENGINEERING</b>                  P.O. BOX 181255                  HONOLULU, HAWAII, 96816                  TEL. 384-1099 373-1872(7)                  email: deltam@delta-engineer.com</p>	<p>DATE: 4/16/21</p>	<p>DESIGNER: RLB/K</p>
			<p>PROJECT NO.: 18081</p>	<p>DATE: 4/16/21</p>

**1 HIGH ROOF FRAMING PLAN**

SCALE: 3/16"=1'-0"  
 0 1 2 3 4 5  
 0' 1" 2" 3" 4" 5"



NOTATION:  
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.  
 2. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

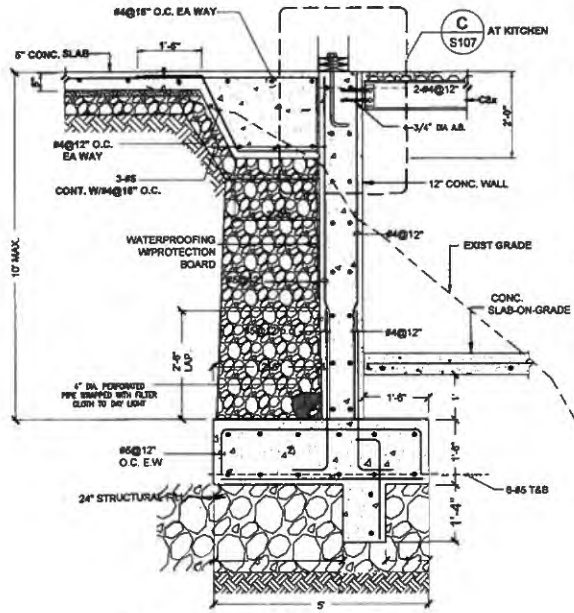
**GLAI**  
 GEOFFREY LEWIS ARCHITECT, N.C.  
 7727 OLD PALI ROAD  
 HONOLULU, HI 96817  
 P(808) 595-6046  
 F(808) 595-2061

**DELTA ENGINEERING**  
 P.O. BOX 181255  
 HONOLULU, HAWAII, 96816  
 TEL. 384-1999 373-1972  
 email: delta@deltaeng.com

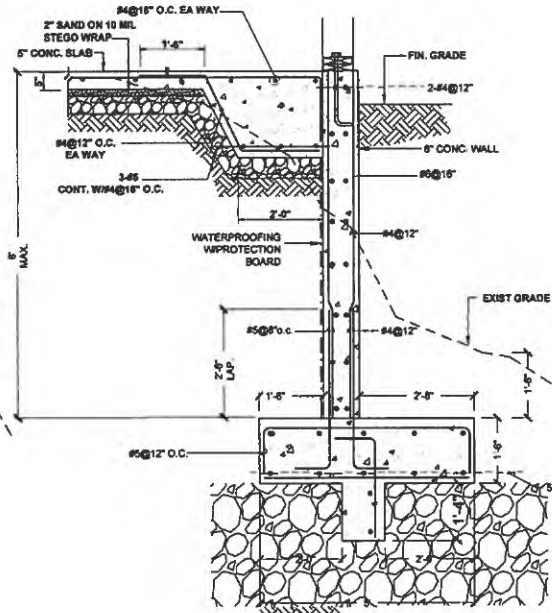
**HUGH RESIDENCE**  
 2020 PALI DR., HONOLULU HI 96817  
 TMC: 2-2-047-020

DATE: 4/16/21  
 DRAWN BY: FB/BK

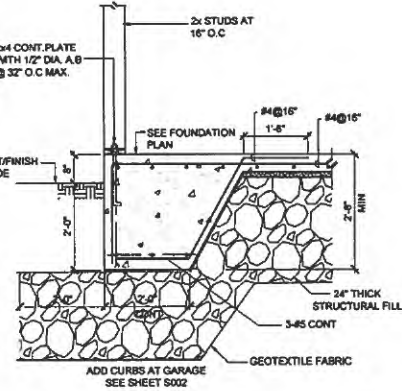
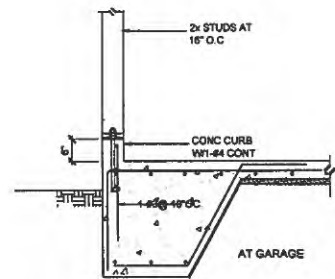
**DELTA ENGINEERING**  
 P.O. BOX 181255  
 HONOLULU, HAWAII, 96816  
 TEL. 384-1999 373-1972  
 email: delta@deltaeng.com



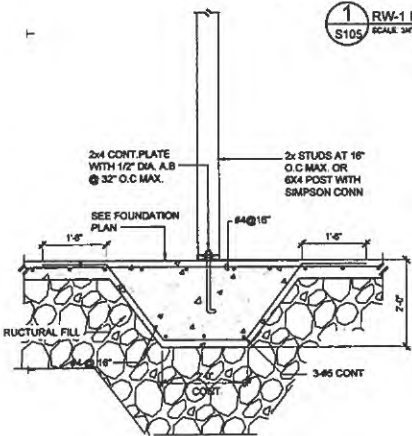
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S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z



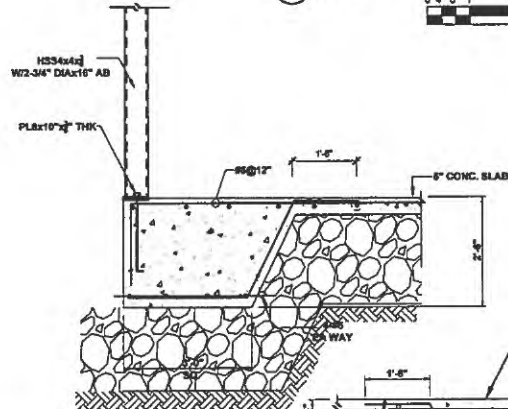
2 RW-2 DETAIL  
S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z



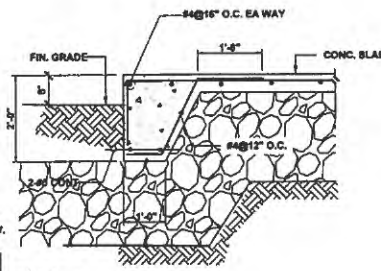
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S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z



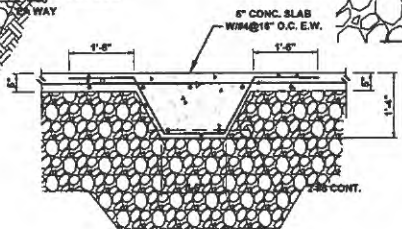
4 WF-2 DETAIL  
S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z



5 F-1 DETAIL  
S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z



6 TS-1 DETAIL  
S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z



7 GB-1 DETAIL  
S105 SCALE 3/4" = 1'-0"  
0' 4" 8" 1" 1" Z

PALEKAWA PERMITS  
THIRD PARTY CERTIFICATION  
 NATIONAL CODE  TECHNICAL CODE  
 MUNICIPAL CODE  RESIDENTIAL CODE  
 STRUCTURAL AND RELATED FIELD DIVISION

**DELTA ENGINEERING**  
101 BOX 181325  
HONOLULU, HAWAII 96816  
TEL: 368-1898  
www.deltainc.com

**HUGH RESIDENCE**  
140 PALAUA DR. HONOLULU HI 96817  
TRAC: 22-047-020

Revision | By | Date

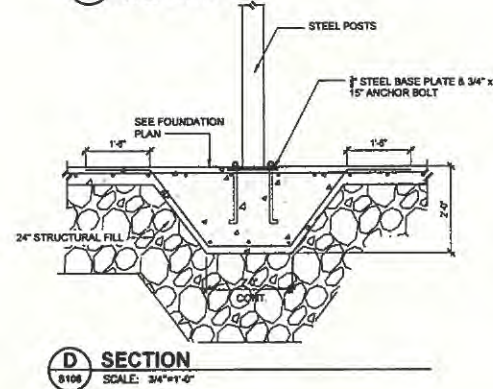
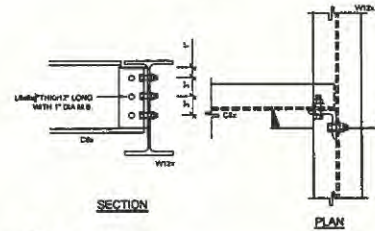
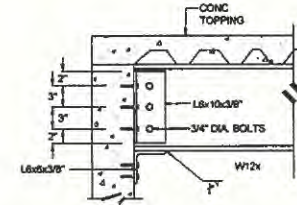
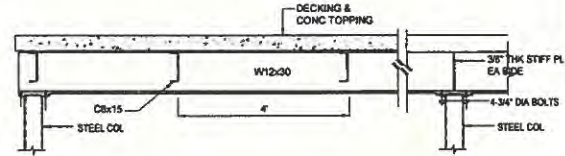
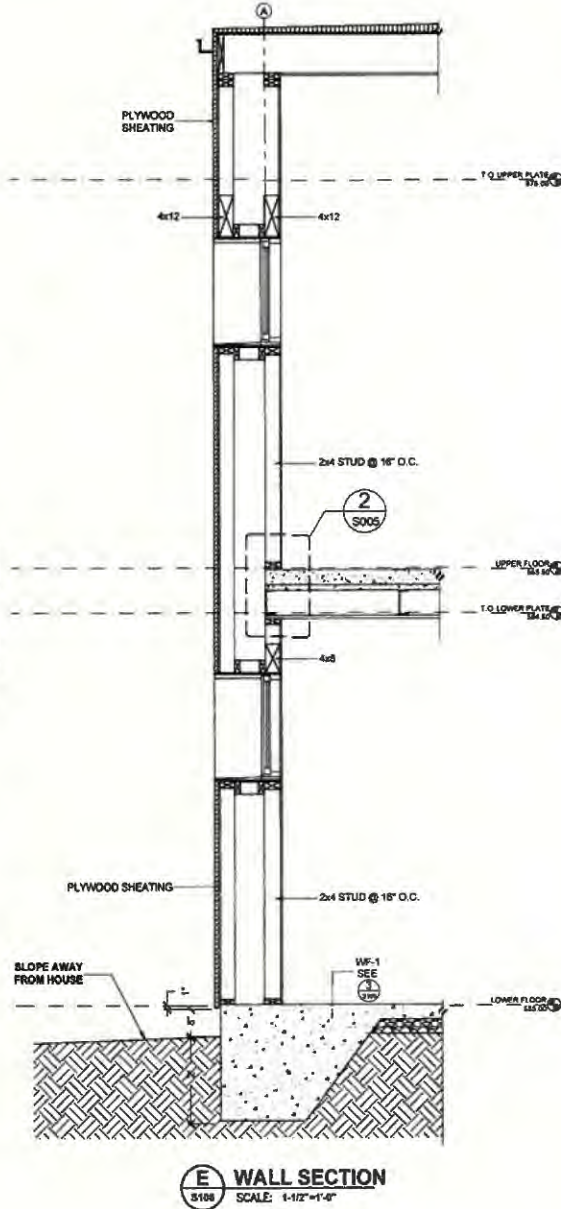
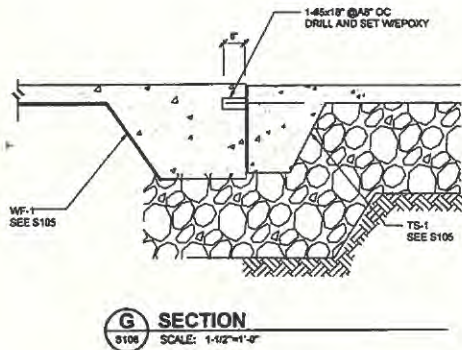
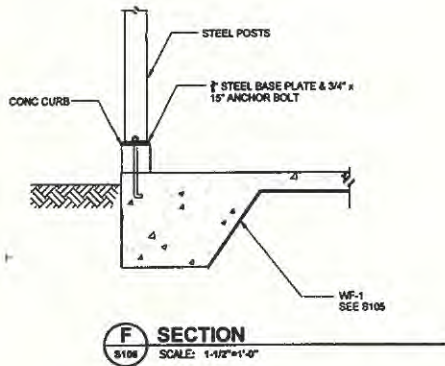
SECTIONS AND DETAILS

Title: \_\_\_\_\_  
Project No: \_\_\_\_\_  
Date: 4/16/21  
Drawn: FK/BK

SEAL  
KIMBERLY K. BROWN  
LICENSED PROFESSIONAL ENGINEER  
No. 12163  
State of Hawaii

**GLAI**  
GEORGEY LEWIS ARCHITECT, INC.  
P1880 5915-604  
3972 OLD PALU ROAD  
HONOLULU, HI 96817  
P1880 5915-2041

Drawing No. **S105**



HALLOW PERMITS  
THIRD PARTY CERTIFICATION

MECHANICAL  ELECTRICAL  PLUMBING  
 MECHANICAL  ELECTRICAL  PLUMBING  
 MECHANICAL  ELECTRICAL  PLUMBING

**DELTA ENGINEERING**  
PO BOX 181235  
HONOLULU, HAWAII 96818  
TEL: 243-2447  
WWW.DELTAENGINEERING.COM

**HUGH RESIDENCE**  
3409 PALKA DR. HONOLULU HI 96817  
TEL: 72-2447-2000

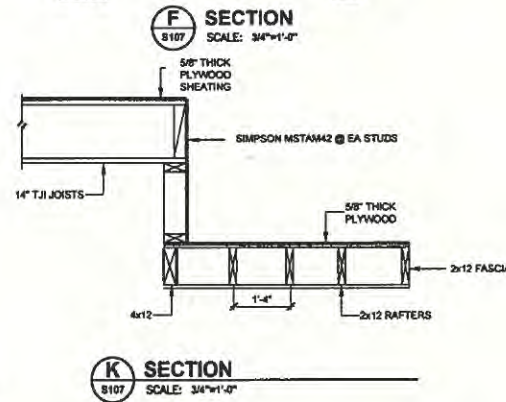
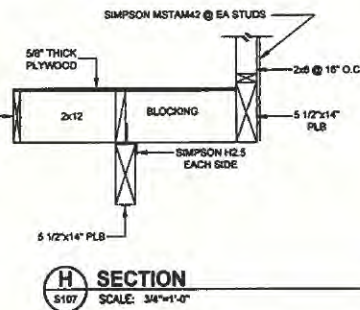
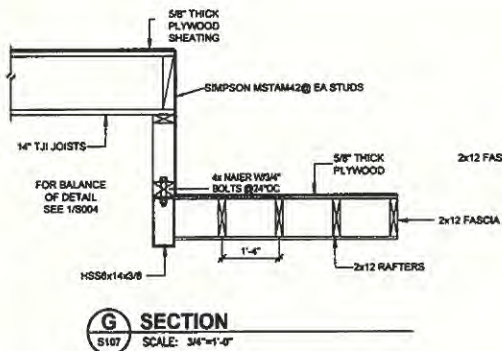
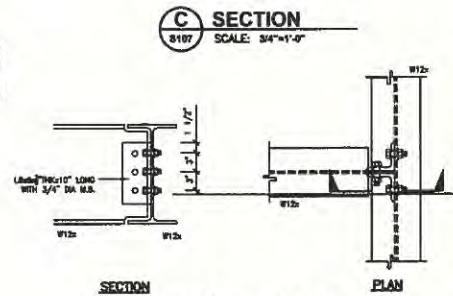
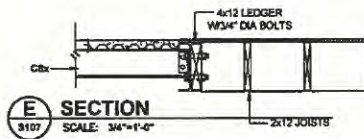
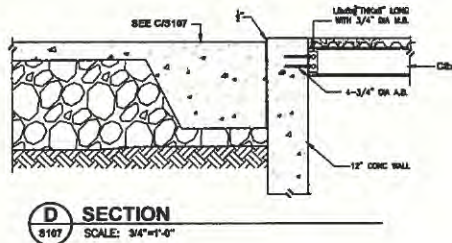
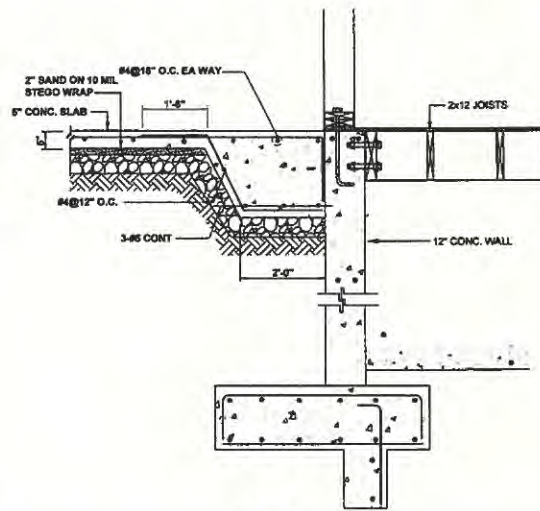
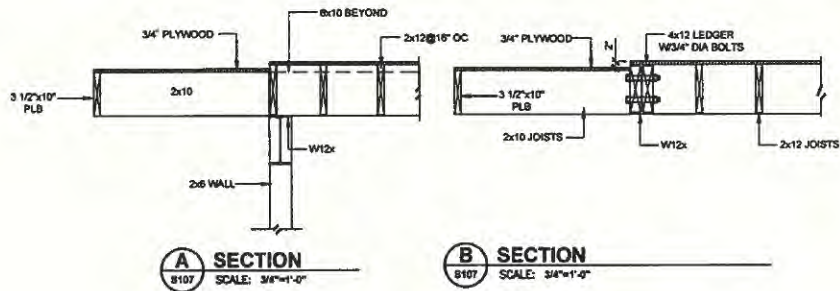
Revision: \_\_\_\_\_ by: \_\_\_\_\_ done: \_\_\_\_\_

Project No. \_\_\_\_\_  
Date: 4/16/21  
Design: FK/BK

**LEWIS KREMER**  
LEWIS  
PROFESSIONAL  
ENGINEER  
No. 13845  
12/20/19  
Signature: \_\_\_\_\_  
Stamp Date: 4/27/21

**GWAL**  
GEORGE LEWIS ARCHITECT, INC.  
P 808 595-8046  
3977 OLD PALIKOAO  
HONOLULU, HI 96817  
F 808 595-8081

Drawing No. **S106**



PALEKAPA PERMITS THIRD PARTY CERTIFICATION	
<input type="checkbox"/> 1400000 CODE	<input type="checkbox"/> 1400000 CODE
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**DELTA ENGINEERING**  
 1400 KALANIANA'OHU BLVD., SUITE 100  
 HONOLULU, HAWAII 96816  
 TEL: 384-1999 FAX: 384-1997  
 WWW.DELTAENGINEERING.COM

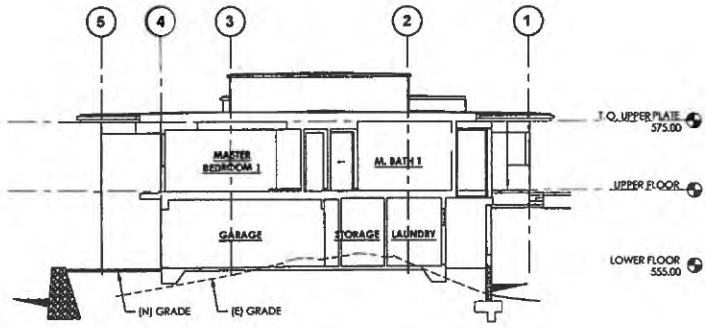
**HUGH RESIDENCE**  
 1/5 PULUAKA, DR. HONOLULU HI 96817  
 DATE: 2-2-2020

Revision	By	Date
SECTIONS AND DETAILS		
Drawn	FK/BK	
Date	4/16/21	
Project		

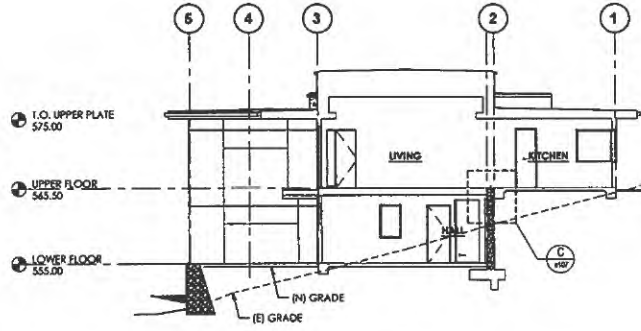
Professional Engineer  
 State of Hawaii  
 License No. 14000

**ALAN GEORGE LEWIS ARCHITECT, INC.**  
 1070 OLD PALUAKA DR.  
 HONOLULU, HI 96817  
 PHONE: 595-6044  
 FAX: 595-2061

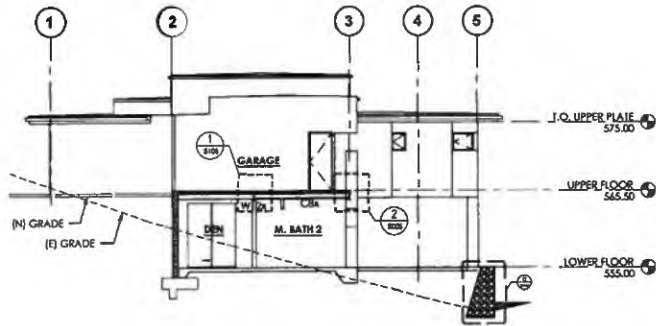
Drawing No. **S107**



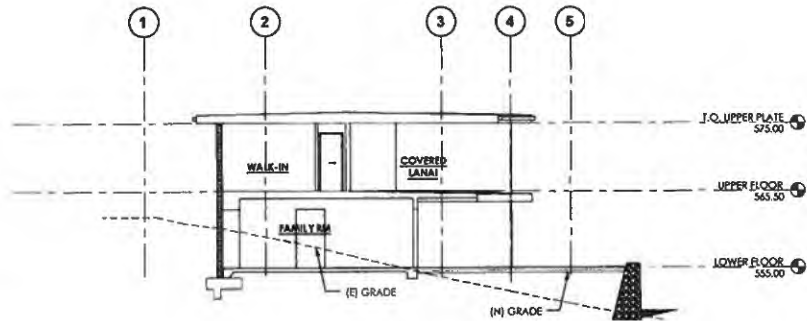
**A BUILDING SECTION**  
S300 SCALE: 1/8"=1'-0"



**B BUILDING SECTION**  
S300 SCALE: 1/8"=1'-0"



**C BUILDING SECTION**  
S300 SCALE: 1/8"=1'-0"



**D BUILDING SECTION**  
S300 SCALE: 1/8"=1'-0"

FILE CANS PERMITS  
THIRD-PARTY CERTIFICATION  
 MARKING CODE  MECHANICAL CODE  
 MECHANICAL CODE  MECHANICAL CODE  
 MECHANICAL CODE  MECHANICAL CODE

**DELTA ENGINEERING**  
 100 BOX 181555  
 HONOLULU, HAWAII 96818  
 TEL. 361-1899 www.deltainc.com

Revision By Date

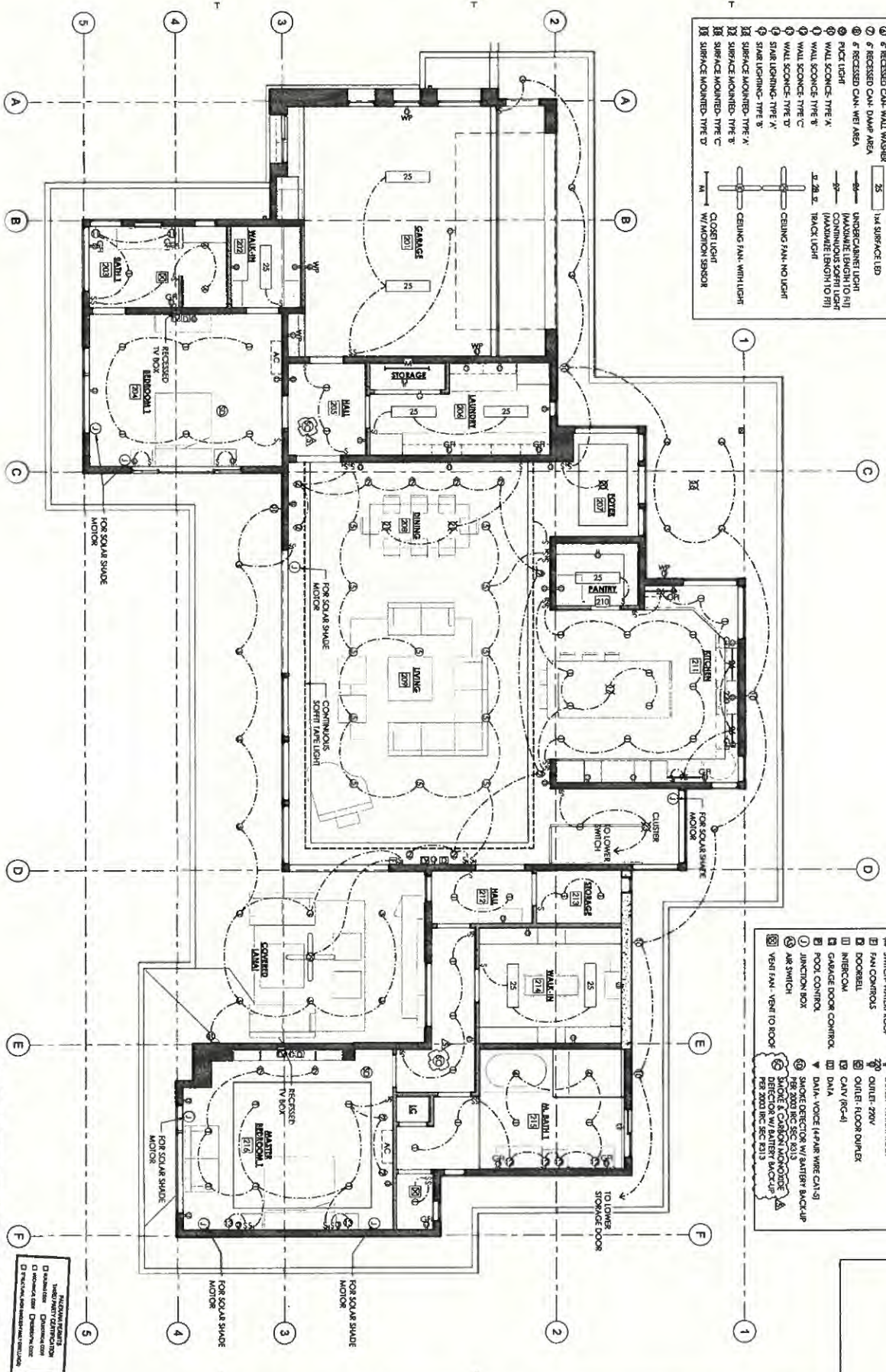
**BUILDING SECTIONS**

Title 01/31/21  
 Project No. 4/16/21  
 Date FK/BK  
 Design

**GEORGE K. LEWIS ARCHITECT, INC.**  
 LICENSED PROFESSIONAL ARCHITECT  
 No. 11484  
 10224

**GLAI**  
 GEORGE K. LEWIS ARCHITECT, INC.  
 P. 808 595-5044  
 1972 OLD PALU ROAD  
 HONOLULU, HI 96817  
 F. 808 595-5041

Drawing No. **S300**



**LIGHTING SCHEDULE**

10	RECESSED CAN	11	PERIMETER TYPE 'A'
11	RECESSED CAN - WALL WASHER	12	PERIMETER TYPE 'B'
12	RECESSED CAN - DIMM AREA	13	PERIMETER TYPE 'C'
13	RECESSED CAN - WET AREA	14	PERIMETER TYPE 'D'
14	RECESSED CAN	15	PERIMETER TYPE 'E'
15	RECESSED CAN - WALL WASHER	16	25' x 25' SURFACE LED
16	RECESSED CAN - DIMM AREA	17	UNDERCABINET LIGHT (MAXIMUM LENGTH 10 FT)
17	RECESSED CAN - WET AREA	18	CONTINUOUS SOFFIT LIGHT (MAXIMUM LENGTH 10 FT)
18	POINT LIGHT	19	1.25' x 2.25' TRACK LIGHT
19	WALL SCONCE - TYPE 'A'	20	CEILING FAN - NO LIGHT
20	WALL SCONCE - TYPE 'B'	21	CEILING FAN - WITH LIGHT
21	WALL SCONCE - TYPE 'C'	22	CLOSET LIGHT
22	WALL SCONCE - TYPE 'D'	23	SURFACE MOUNTED - TYPE 'A'
23	STAR LIGHTING - TYPE 'A'	24	SURFACE MOUNTED - TYPE 'B'
24	STAR LIGHTING - TYPE 'B'	25	SURFACE MOUNTED - TYPE 'C'
25	SURFACE MOUNTED - TYPE 'A'	26	SURFACE MOUNTED - TYPE 'D'

**ELECTRICAL SCHEDULE**

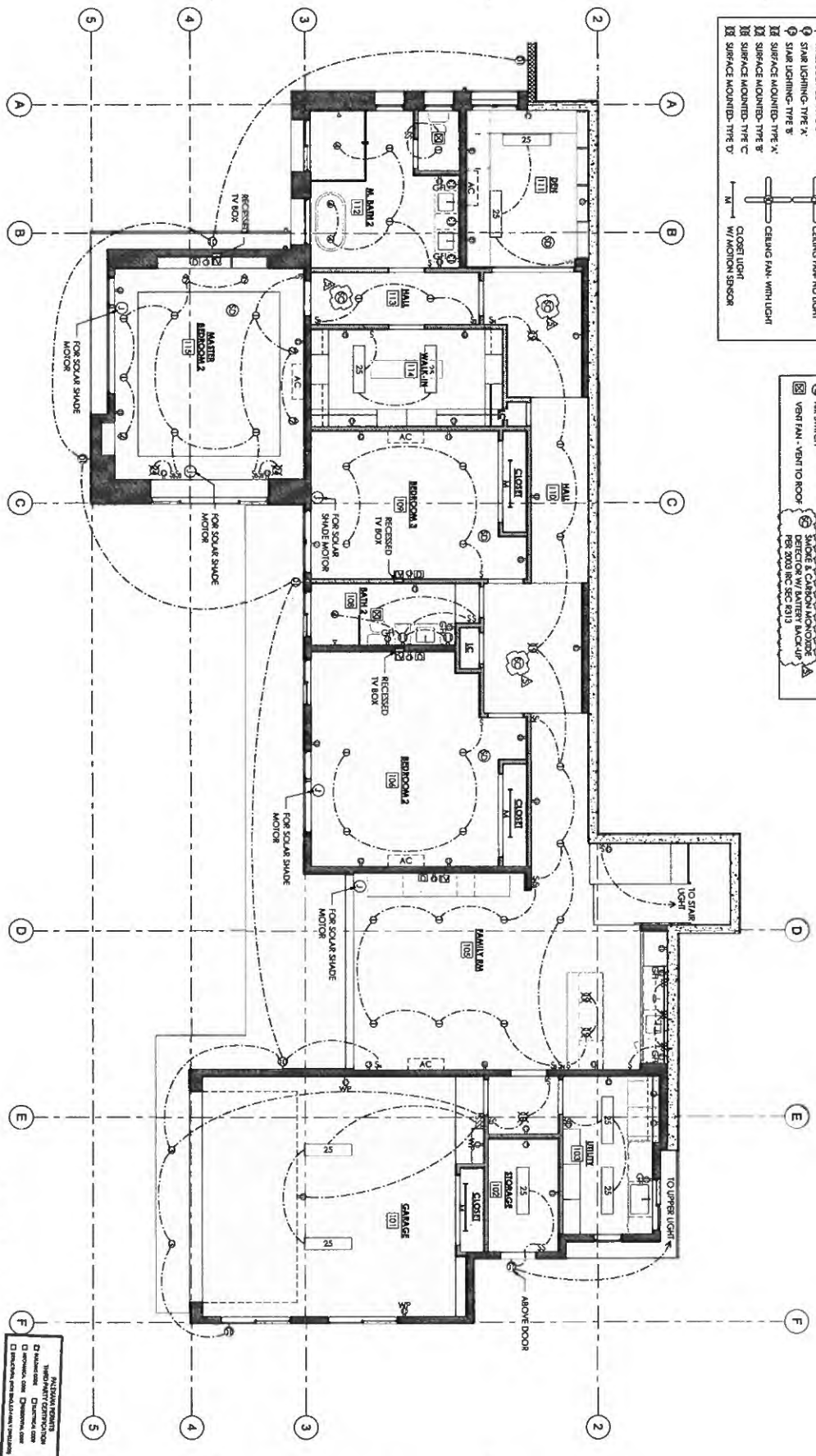
1	SWITCH - SINGLE POLE	11	OUTLET - DUPLEX (1+17)
2	SWITCH - DIMMER	12	OUTLET - DUPLEX ABOVE COUNTER (1+17)
3	SWITCH - 3-WAY	13	OUTLET - DUPLEX BELOW COUNTER
4	SWITCH - MULTIPLE	14	OUTLET - GFI
5	SWITCH - MOTION SENSOR	15	OUTLET - WATERPROOF
6	SWITCH - WATERPROOF	16	OUTLET - 250V
7	FAN CONTROL	17	OUTLET - FLOOR DUPLEX
8	DOORBELL	18	CATV (RG-4)
9	INTERCOM	19	DATA
10	GARAGE DOOR CONTROL	20	DATA - VOICE (4+48 WIRE CAT-5)
11	POOL CONTROL	21	SMOKE DETECTOR W/ BATTERY BACKUP
12	JUNCTION BOX	22	SMOKE DETECTOR W/ BATTERY BACKUP
13	AIR SWITCH	23	SMOKE DETECTOR W/ BATTERY BACKUP
14	VEHICLE FAN - VENT TO ROOF	24	SMOKE DETECTOR W/ BATTERY BACKUP

UPPER FLOOR REFLECTED CEILING PLAN

MANUAL SYMBOLS:  
 1. HATCHED AREA: HATCHED AREA  
 2. DASHED LINE: DIMENSION LINE  
 3. DOTTED LINE: DIMENSION LINE  
 4. SOLID LINE: DIMENSION LINE

<p><b>GLAI</b>          GEOFFREY LEWIS ARCHITECT, INC.          3727 OLD PAU ROAD          HONOLULU, HI 96817          P (808) 595-4044          F (808) 595-2061</p>		Drawing No. <b>E100</b>	Project No. <b>411621</b>	Date: <b>CH</b>	<b>HUGH RESIDENCE</b> 3151 PUU PAKA DR., HONOLULU HI 96817 TMK: 2-2-047-020
		Upper Floor Electrical Plan	Scale: <b>1/8" = 1'-0"</b>	Revision: <b>1</b>	Date: <b>10/27/21</b>

REVISED PRINT



**LIGHTING SCHEDULE**

1	RECESSED CAN-WALL WASHER	10	PENDANT TYPE X
2	RECESSED CAN-WALL WASHER	11	PENDANT TYPE B
3	RECESSED CAN-WALL WASHER	12	PENDANT TYPE C
4	RECESSED CAN-WALL WASHER	13	PENDANT TYPE D
5	RECESSED CAN-WALL WASHER	14	PENDANT TYPE E
6	RECESSED CAN-WALL WASHER	15	1/4" SURFACE LED
7	RECESSED CAN-WALL WASHER	16	UNDERCABINET LIGHT
8	RECESSED CAN-WALL WASHER	17	CONTINUOUS SCROLL LIGHT (MAXIMUM LENGTH TO R/L)
9	RECESSED CAN-WALL WASHER	18	CONTINUOUS SCROLL LIGHT (MAXIMUM LENGTH TO R/L)
10	RECESSED CAN-WALL WASHER	19	CEILING FAN - NO LIGHT
11	RECESSED CAN-WALL WASHER	20	CEILING FAN - WITH LIGHT
12	RECESSED CAN-WALL WASHER	21	CEILING FAN - WITH LIGHT W/ MOTION SENSOR

**ELECTRICAL SCHEDULE**

1	SWITCH - SINGLE POLE	10	OUTLET - DUPLEX (1-1/2")
2	SWITCH - DIMMER	11	OUTLET - DUPLEX ABOVE COUNTER (1-1/2")
3	SWITCH - 3-WAY	12	OUTLET - DUPLEX BELOW COUNTER
4	SWITCH - MULTIPLE	13	OUTLET - GFI
5	SWITCH - MOTION SENSOR	14	OUTLET - WATERPROOF
6	SWITCH - WATERPROOF	15	OUTLET - WATERPROOF
7	SWITCH - WATERPROOF	16	OUTLET - 220V
8	SWITCH - WATERPROOF	17	OUTLET - FLOOR DUPLEX
9	SWITCH - WATERPROOF	18	DOORBELL
10	SWITCH - WATERPROOF	19	DATA
11	SWITCH - WATERPROOF	20	DATA - VOICE (4-PAIR WIRE C.N. 5)
12	SWITCH - WATERPROOF	21	SMOKE DETECTOR W/ BATTERY BACK-UP
13	SWITCH - WATERPROOF	22	SMOKE & CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP
14	SWITCH - WATERPROOF	23	VENT FAN - VENT TO ROOF
15	SWITCH - WATERPROOF	24	VENT FAN - VENT TO ROOF
16	SWITCH - WATERPROOF	25	VENT FAN - VENT TO ROOF
17	SWITCH - WATERPROOF	26	VENT FAN - VENT TO ROOF
18	SWITCH - WATERPROOF	27	VENT FAN - VENT TO ROOF
19	SWITCH - WATERPROOF	28	VENT FAN - VENT TO ROOF
20	SWITCH - WATERPROOF	29	VENT FAN - VENT TO ROOF
21	SWITCH - WATERPROOF	30	VENT FAN - VENT TO ROOF
22	SWITCH - WATERPROOF	31	VENT FAN - VENT TO ROOF
23	SWITCH - WATERPROOF	32	VENT FAN - VENT TO ROOF
24	SWITCH - WATERPROOF	33	VENT FAN - VENT TO ROOF
25	SWITCH - WATERPROOF	34	VENT FAN - VENT TO ROOF
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27	SWITCH - WATERPROOF	36	VENT FAN - VENT TO ROOF
28	SWITCH - WATERPROOF	37	VENT FAN - VENT TO ROOF
29	SWITCH - WATERPROOF	38	VENT FAN - VENT TO ROOF
30	SWITCH - WATERPROOF	39	VENT FAN - VENT TO ROOF
31	SWITCH - WATERPROOF	40	VENT FAN - VENT TO ROOF
32	SWITCH - WATERPROOF	41	VENT FAN - VENT TO ROOF
33	SWITCH - WATERPROOF	42	VENT FAN - VENT TO ROOF
34	SWITCH - WATERPROOF	43	VENT FAN - VENT TO ROOF
35	SWITCH - WATERPROOF	44	VENT FAN - VENT TO ROOF
36	SWITCH - WATERPROOF	45	VENT FAN - VENT TO ROOF
37	SWITCH - WATERPROOF	46	VENT FAN - VENT TO ROOF
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39	SWITCH - WATERPROOF	48	VENT FAN - VENT TO ROOF
40	SWITCH - WATERPROOF	49	VENT FAN - VENT TO ROOF
41	SWITCH - WATERPROOF	50	VENT FAN - VENT TO ROOF
42	SWITCH - WATERPROOF	51	VENT FAN - VENT TO ROOF
43	SWITCH - WATERPROOF	52	VENT FAN - VENT TO ROOF
44	SWITCH - WATERPROOF	53	VENT FAN - VENT TO ROOF
45	SWITCH - WATERPROOF	54	VENT FAN - VENT TO ROOF
46	SWITCH - WATERPROOF	55	VENT FAN - VENT TO ROOF
47	SWITCH - WATERPROOF	56	VENT FAN - VENT TO ROOF
48	SWITCH - WATERPROOF	57	VENT FAN - VENT TO ROOF
49	SWITCH - WATERPROOF	58	VENT FAN - VENT TO ROOF
50	SWITCH - WATERPROOF	59	VENT FAN - VENT TO ROOF
51	SWITCH - WATERPROOF	60	VENT FAN - VENT TO ROOF
52	SWITCH - WATERPROOF	61	VENT FAN - VENT TO ROOF
53	SWITCH - WATERPROOF	62	VENT FAN - VENT TO ROOF
54	SWITCH - WATERPROOF	63	VENT FAN - VENT TO ROOF
55	SWITCH - WATERPROOF	64	VENT FAN - VENT TO ROOF
56	SWITCH - WATERPROOF	65	VENT FAN - VENT TO ROOF
57	SWITCH - WATERPROOF	66	VENT FAN - VENT TO ROOF
58	SWITCH - WATERPROOF	67	VENT FAN - VENT TO ROOF
59	SWITCH - WATERPROOF	68	VENT FAN - VENT TO ROOF
60	SWITCH - WATERPROOF	69	VENT FAN - VENT TO ROOF
61	SWITCH - WATERPROOF	70	VENT FAN - VENT TO ROOF
62	SWITCH - WATERPROOF	71	VENT FAN - VENT TO ROOF
63	SWITCH - WATERPROOF	72	VENT FAN - VENT TO ROOF
64	SWITCH - WATERPROOF	73	VENT FAN - VENT TO ROOF
65	SWITCH - WATERPROOF	74	VENT FAN - VENT TO ROOF
66	SWITCH - WATERPROOF	75	VENT FAN - VENT TO ROOF
67	SWITCH - WATERPROOF	76	VENT FAN - VENT TO ROOF
68	SWITCH - WATERPROOF	77	VENT FAN - VENT TO ROOF
69	SWITCH - WATERPROOF	78	VENT FAN - VENT TO ROOF
70	SWITCH - WATERPROOF	79	VENT FAN - VENT TO ROOF
71	SWITCH - WATERPROOF	80	VENT FAN - VENT TO ROOF
72	SWITCH - WATERPROOF	81	VENT FAN - VENT TO ROOF
73	SWITCH - WATERPROOF	82	VENT FAN - VENT TO ROOF
74	SWITCH - WATERPROOF	83	VENT FAN - VENT TO ROOF
75	SWITCH - WATERPROOF	84	VENT FAN - VENT TO ROOF
76	SWITCH - WATERPROOF	85	VENT FAN - VENT TO ROOF
77	SWITCH - WATERPROOF	86	VENT FAN - VENT TO ROOF
78	SWITCH - WATERPROOF	87	VENT FAN - VENT TO ROOF
79	SWITCH - WATERPROOF	88	VENT FAN - VENT TO ROOF
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81	SWITCH - WATERPROOF	90	VENT FAN - VENT TO ROOF
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89	SWITCH - WATERPROOF	98	VENT FAN - VENT TO ROOF
90	SWITCH - WATERPROOF	99	VENT FAN - VENT TO ROOF
91	SWITCH - WATERPROOF	100	VENT FAN - VENT TO ROOF

LOWER FLOOR REFLECTED CEILING PLAN

E101

**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 3927 OLD PAUL ROAD  
 HONOLULU, HI 96817  
 P (808) 595-8046  
 F (808) 595-2361

**HUGH RESIDENCE**  
 LOWER FLOOR ELECTRICAL PLAN  
 3151 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047-020

DATE: 4/16/21  
 DRAWN BY: CH

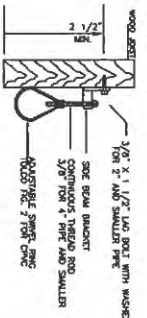
REVISIONS

NO.	DATE	DESCRIPTION
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2	4/16/21	ISSUED FOR PERMIT

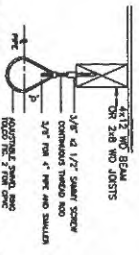
REVISED PERMIT



**LINE HANGER ABOVE JOIST SPACE**



**MAIN AND LINE HANGER UNDER BEAM OR JOIST**



NO.	DESCRIPTION	QUANTITY
1	1/2\"/>	

**GENERAL NOTES**

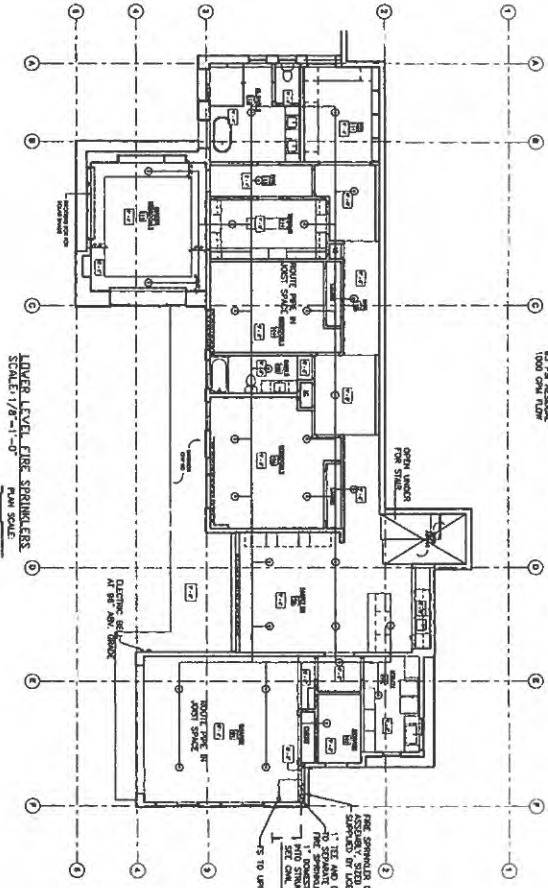
1. ALL PIPING AND COMPONENTS TO BE INSTALLED PER NATIONAL FIRE PROTECTION ASSOCIATION STANDARD NUMBER 1301 ED. 2012, FIRE SPRINKLER INSTALLATION, BUILDING CONSTRUCTION AND ALL WORK AND MATERIALS TO BE INSTALLED PER THE CITY AND COUNTY OF HONOLULU.
2. TWO (2) SETS OF COMPLETE WORKING PLANS AND HYDRAULIC CALCULATIONS STRAPPED AND SIGNED BY A HAWAII LICENSED MECHANICAL ENGINEER SHALL BE SUBMITTED TO THE CITY AND COUNTY OF HONOLULU FOR REVIEW AND APPROVAL. THE CITY AND COUNTY OF HONOLULU SHALL BE ADVISED IN WRITING OF THE REVIEW AND APPROVAL OF THE PLANS ALONG WITH THE FINAL REPORT/LETTER PRIOR TO CLOSING THE BUILDING PERMIT.
3. INSTALLATION MUST BE BY A FIRE SPRINKLER LICENSED CONTRACTOR WHO INSTALLS THIS TYPE OF RESIDENTIAL FIRE SPRINKLER SYSTEMS. THE CONTRACTOR SHALL HAVE APPROPRIATE INSURANCE TO COVER THE SPRINKLER INSTALLATION. THE SYSTEM FOR 2 HOURS AND TEST CERTIFICATE SHALL BE FILLED OUT AND SUBMITTED TO THE FPI.
4. PIPE FOR SYSTEM TO BE CPVC APPROVED FOR THE SPRINKLER USE.
5. PIPING TO BE STEEL SCHEDULE 40 PIPE.
6. SUPPLY FROM UTILITY IS 1\"/>

**HYDRAULIC DESIGN BASED ON LIGHT HAZARD - RESIDENTIAL DWELLING**

AS PER 1301 2012 EDITION, SPECIAL DESIGN APPROACHES - RESIDENTIAL SPRINKLERS CALCULATIONS SHALL INCLUDE 2 ADVANCED SPRINKLERS THAT PRODUCE GREATEST DEMAND, AND USING THE ROOM DESIGN METHOD.

**WATER SUPPLY AVAILABLE FROM STREET WATER MAIN**

AS PER REQUIREMENT 1000 OF THE CITY AND COUNTY OF HONOLULU.

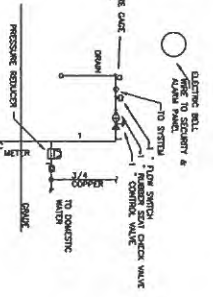


**LOWER LEVEL FIRE SPRINKLERS SCHEDULE 1/2\"/>**

**BOARD OF WATER NOTE:**  
 THE BOARD OF WATER NOTE REQUIRES 26 GALLONS PER MINUTE FROM CITY WATER MAIN

The fire sprinkler system is designed to provide protection for the building. The fire sprinkler system is designed to provide protection for the building. The fire sprinkler system is designed to provide protection for the building.

ALTERATION OF BUILDINGS:  
 16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.  
 16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE REMAINING PORTION OF THE SYSTEM.  
 16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE CONTRACTOR SHALL OBTAIN THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.  
 16.4.4.4 THE FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE SYSTEM IS SHUT DOWN AND WHEN THE SYSTEM IS RETURNED TO SERVICE.  
 16.4.4.5 DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR REMOVALS, PORTABLE FIRE EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE. A FIRE WATCH SHALL BE REQUIRED AS SPECIFIED IN SECTIONS 13.3.4.3.5.2.3.3, 13.3.1.4.4, 16.5.3.4, 20.2.3.6, 34.6.3.3, 41.2.2.5, 41.2.2.6, 41.2.4, 41.3.4, 41.4.1, 41.4.1.1, 41.4.1.2, 41.4.1.3, 41.4.1.4, 41.4.1.5, 41.4.1.6, AND 25.1.8 AT NO COST TO THE OWNER PER 1301, AS AMENDED.



NO.	DESCRIPTION
1	1/2\"/>

**HONOLULU CITY ENGINEER**  
 HONOLULU, HAWAII  
 ILLUSTRATION BY: [Signature]  
 DATE: 1/15/21  
 SCALE: 1/8\"/>

**SAM HUGH RESIDENCE**  
 3156 PUU PAKA DRIVE  
 HONOLULU, HAWAII 96817

**RAS Design, LLC**  
 1294 KAWILOKA STREET  
 PEARL CITY, HAWAII 96782

PH-808-561-7509  
 FIRE SPRINKLER DESIGN SERVICE

DESCRIPTION: LOWER LEVEL FOR FIRE SPRINKLER PLAN FOR 2 STORY RESIDENCE  
 DRAWN BY: AS  
 ALAN SEABOARD, S.E.T., NCET N 75935

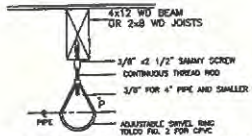
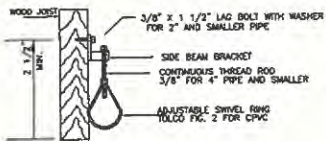
DATE: 1/15/21  
 SCALE: 1/8\"/>

SYD.	SPRINKLERS	TYPE	BEZEL	SIZE	FINISH	CHOPP	K	QTY.
0	1	RES	PHD	155	1/2	WH	KN	32
<b>TOTAL NEW SPRINKLERS FOR LEVEL</b>								
<b>52</b>								

DRAWING NO. FF-001

OF 2

LINE HANGER INSIDE JOIST SPACE



MAIN AND LINE HANGER UNDER BEAM OR JOIST

MAXIMUM DISTANCE BETWEEN HANGERS FOR CPVC TUBE	
SIZE	SPACING IN FEET
1/2"	8'-0"
3/4"	8'-0"
1"	7'-0"
2"	8'-0"

HYDRAULIC DESIGN BASED ON: LIGHT HAZARD - RESIDENTIAL DWELLING

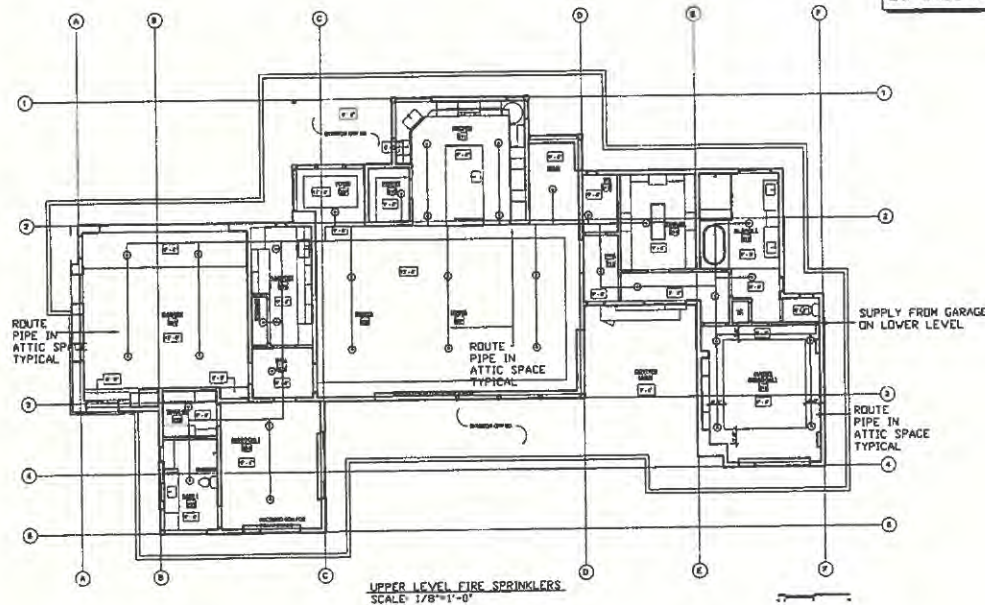
NFPA 13D 2012 EDITION: SPECIAL DESIGN APPROACHES - RESIDENTIAL SPRINKLERS CALCULATIONS SHALL INCLUDE 2 ADJACENT SPRINKLERS THAT PRODUCE GREATEST DEMAND, AND USING THE ROOM DESIGN METHOD. SPACING FOR FIRE SPRINKLERS TO BE MAX, 16FT x 16FT, AND 8FT MAX. FROM ANY WALL THIS SPACING ALLOWS FOR LOWER WATER REQUIREMENT AND SMALLER WATER METER.

UPPER LEVEL NOTES:

1. ALL SPECIFICATIONS FROM LOWER LEVEL APPLY TO UPPER LEVEL.
2. FIRE SPRINKLER SPACING TO BE 16x16 FT AND MAXIMUM SPACE OFF WALLS TO BE 8 FEET.
3. SUPPLY FROM LOWER LEVEL TO BE RUN VERTICAL IN WALL AND CONCEALED.
4. HYDRAULIC CALCULATIONS TO BE DONE FOR THIS LEVEL AS IT IS THE REMOTE FROM THE RISER.
5. UNLESS A NEW CALCULATION SUPPORTS DIFFERENT PIPE SIZING, ALL PIPE SIZES SHALL BE BASED ON THE UPPER LEVEL HYDRAULIC CALCULATION.
6. SEE HANGER DETAILS FOR PIPE SUPPORT.
7. PIPE ROUTING IS DIAGRAMIC AND SHOULD BE COORDINATED.

BOARD OF WATER NOTE:

THE WATER REQUIREMENT FOR FIRE SPRINKLER SYSTEM IS 26 GALLONS FROM CITY WATER MAIN TOTAL FOR THIS PROJECT



UPPER LEVEL FIRE SPRINKLERS  
SCALE: 1/8"=1'-0"

EYE	SPRINKLERS	TYPE	ORIFICE SIZE	K	SPACING	RATED	GPM	FEET	TOTAL NEW SPRINKLERS THIS LEVEL	
									IN	OUT
										34

WENDELL CHINE  
1140 18TH AVE.  
HONOLULU, HI 96816

RALS Design, LLC  
1500 KALANIANA'OHU STREET  
PEARL CITY, HAWAII 96782  
PH-808-561-7509  
FIRE SPRINKLER DESIGN SERVICE

SAM HIJUH RESIDENCE  
3158 PUI PAKA DRIVE  
HONOLULU, HAWAII 96817  
DESCRIPTION: UPPER LEVEL FOR  
DOWN BY FIRE SPRINKLER PLAN FOR 2 STORY RESIDENCE  
PLAN SHEET, S.E.T., INSET IV 79935

NATIONAL PERMITS  
THIRD PARTY CERTIFICATION  
 RAINWATER CODE  NATIONAL CODE  
 HONOLULU CODE  NATIONAL CODE  
 APPLICABLE FOR INCLUDE FIRE PREVENTION

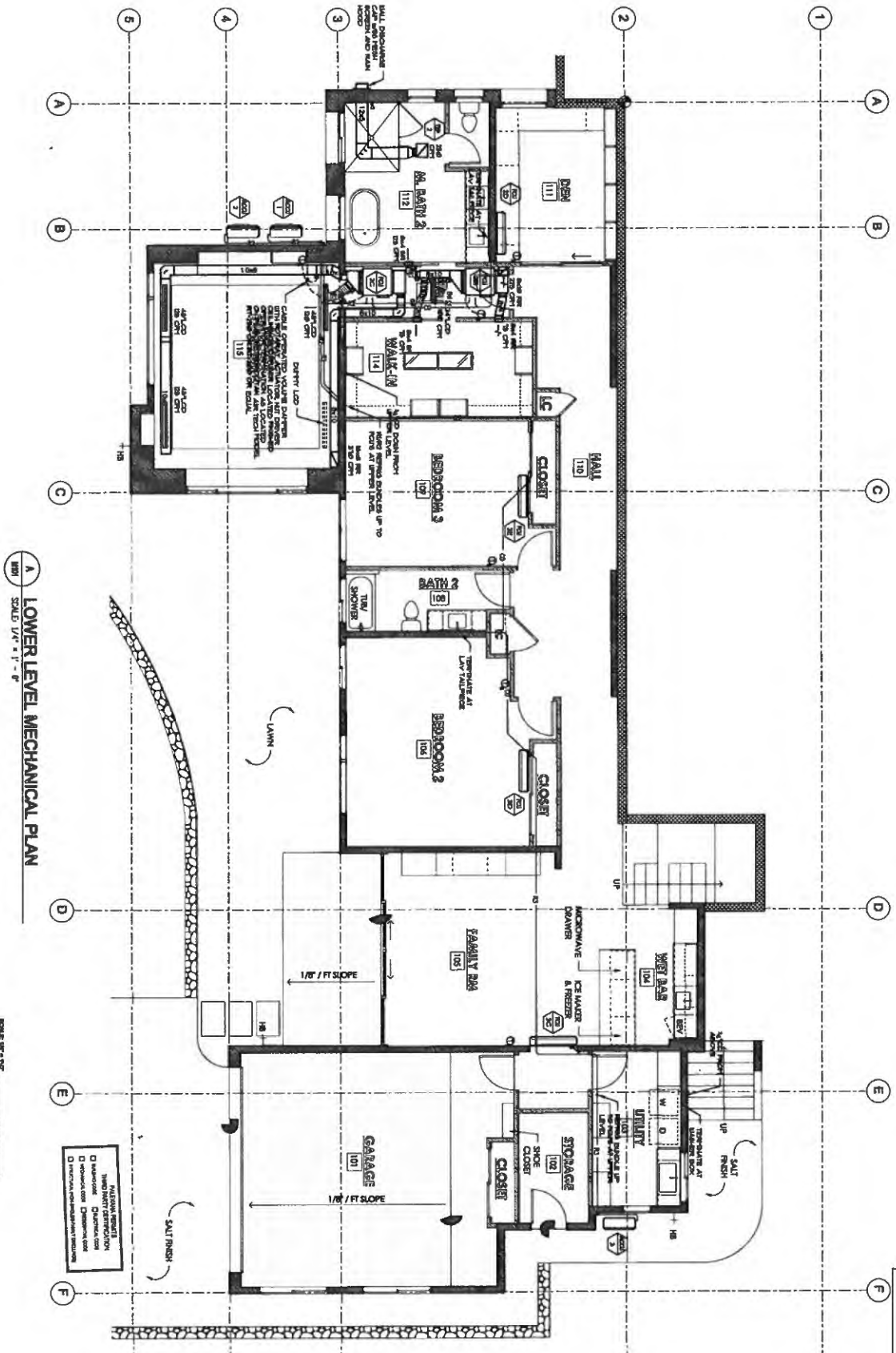


DATE: 1/15/21  
SCALE: 1/8"=1'-0"  
TALK NUMBER: 2-2-047-020  
FILE NAME: SAMHIJUH'S.DWG  
DRAWING NUMBER: JF 2

DRAWING NO. FP-002

FP-002





**A LOWER LEVEL MECHANICAL PLAN**  
 SCALE: 1/4" = 1' - 0"

ALL WORK SHOWN  
 CONTRACTOR TO VERIFY  
 CONTRACTOR TO VERIFY  
 CONTRACTOR TO VERIFY

**GEORFFREY LEWIS ARCHITECT, INC.**  
 3927 OLD PAU ROAD  
 HONOLULU, HI 96817  
 P (808) 595-0046  
 F (808) 595-0041

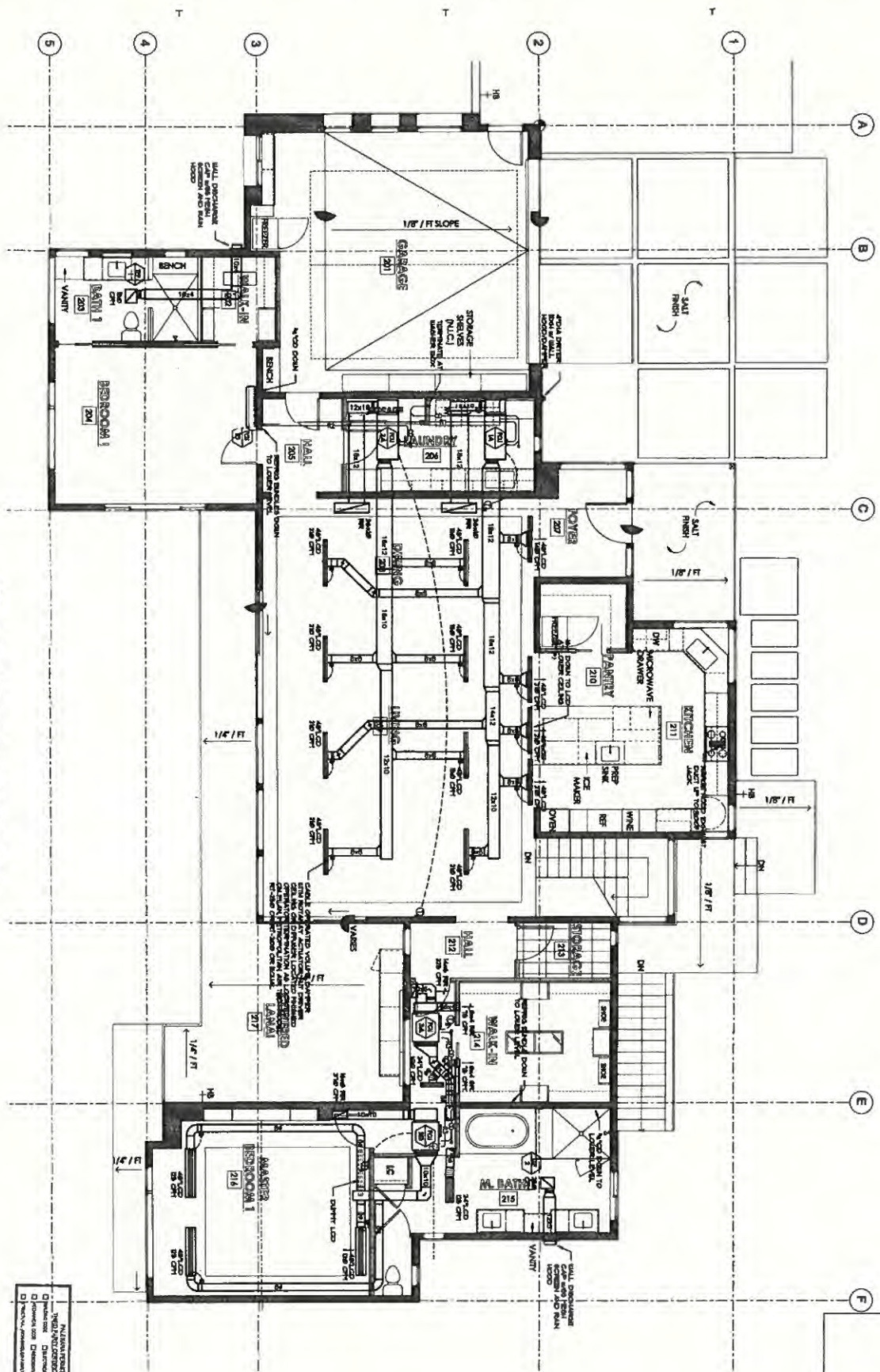
**LANCER DESIGN GROUP**  
 1125 S. KALANANUOULI DR.  
 HONOLULU, HI 96813  
 P (808) 595-0046  
 F (808) 595-0041

PROJECT: HUGH RESIDENCE  
 DATE: 11/25/20  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

**HUGH RESIDENCE**  
 5K PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

M101  
 SHEET NO.

**A**  
**UPPER LEVEL MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"



- NOTES:**
- 1. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL CODE.
  - 2. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
  - 3. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
  - 4. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARD RATING SYSTEM.
  - 5. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL SAFETY COUNCIL (NSC) SAFETY STANDARDS.
  - 6. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.
  - 7. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS (NSPE) STANDARDS.
  - 8. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.
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  - 20. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.

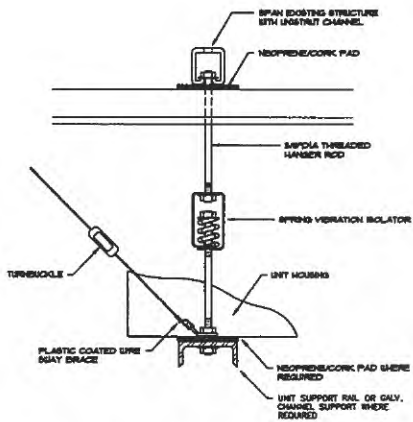
**M102**

**GLAI**  
 GEOFFREY LEWIS ARCHITECT, INC.  
 3927 OLD PAU ROAD  
 HONOLULU, HI 96817  
 PHONE: 595-6046  
 FAX: 595-6046

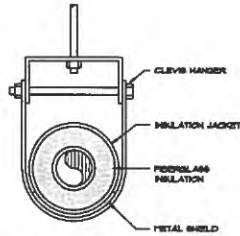
**LANE AND YOUNG**  
 LICENSED MECHANICAL ENGINEER  
 NO. 10000  
 11/28/2003

**HUGH RESIDENCE**  
 3 1/2 PUU PAKA DR, HONOLULU HI 96817  
 TMK: 2-2-047:020

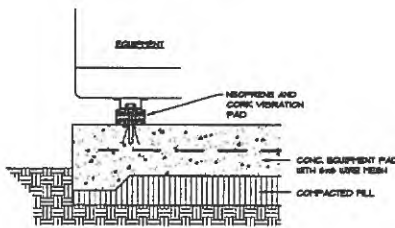
**UPPER FLOOR MECHANICAL PLAN**



**FAN MOUNTING DETAIL**  
NOT TO SCALE



**PIPE SUPPORT DETAIL**  
NOT TO SCALE



**ACCU MOUNTING DETAIL**  
NOT TO SCALE

**CITY-MULTI AIR-COOLED CONDENSING UNIT**

85 F EXTERIOR CONDENSER AIR

UNIT TAG	COOL. COOLING CAPACITY	V/PH/Hz	MCA	MOCP	COMPRESSOR NO.	CONDENSER NO.	SEER	NOTES	
ACCU-1	80,000	208-230/1/60	36	45	1	3,9	2	17.8	17.8 MITSUBISHI PUMY-PB080M2-03

**MINI-SPLIT FAN COIL UNIT**

80 F/87 F EXTERIOR AIR TEMPERATURE, 40 F SATURATED SUCTION TEMPERATURE.

UNIT TAG	TOTAL COOLING CAPACITY	SUPPLY CFM	OA CFM	ESP	V/PH/Hz	FLA	MCA	MOCP	NOTES	LEB.
FCU-1A	46,000	1400		0.8	208-230/1/60		5.83	15	DUCTED 18\"/>	
FCU-1B	12,000	290			208-230/1/60		6.24	15	DUCTLESS WALL UNIT MITSUBISHI PUMY-P128MLU-E	25

**CITY-MULTI AIR-COOLED CONDENSING UNIT**

85 F EXTERIOR CONDENSER AIR

UNIT TAG	COOL. COOLING CAPACITY	V/PH/Hz	MCA	MOCP	COMPRESSOR NO.	CONDENSER NO.	SEER	NOTES	
ACCU-2	90,000	208-230/1/60	36	45	1	3,9	2	17.8	17.8 MITSUBISHI PUMY-PB080M2-03

**MINI-SPLIT FAN COIL UNIT**

80 F/87 F EXTERIOR AIR TEMPERATURE, 40 F SATURATED SUCTION TEMPERATURE.

UNIT TAG	TOTAL COOLING CAPACITY	SUPPLY CFM	OA CFM	ESP	V/PH/Hz	FLA	MCA	MOCP	NOTES	LEB.
FCU-2A	30,000	870		0.8	208-230/1/60		4.13	15	DUCTED 18\"/>	
FCU-2B	8,000	300		0.3	208-230/1/60	0.58	1.05	15	18\"/>	
FCU-2C	12,000	370		0.3	208-230/1/60	0.88	1.21	15	18\"/>	
FCU-2D	8,000	190			208-230/1/60		0.24	15	DUCTLESS WALL UNIT MITSUBISHI PUMY-P128MLU-E	25
FCU-2E	8,000	235			208-230/1/60		0.24	15	DUCTLESS WALL UNIT MITSUBISHI PUMY-P128MLU-E	25

\* UNITS 2E AND 2D WITH CONDENSATE LIFT PUMP.

**CITY-MULTI AIR-COOLED CONDENSING UNIT**

85 F EXTERIOR CONDENSER AIR

UNIT TAG	COOL. COOLING CAPACITY	V/PH/Hz	MCA	MOCP	COMPRESSOR NO.	CONDENSER NO.	SEER	NOTES	
ACCU-3	80,000	208-230/1/60	36	45	1	3,9	2	17.8	17.8 MITSUBISHI PUMY-PB080M2-03

**MINI-SPLIT FAN COIL UNIT**

80 F/87 F EXTERIOR AIR TEMPERATURE, 40 F SATURATED SUCTION TEMPERATURE.

UNIT TAG	TOTAL COOLING CAPACITY	SUPPLY CFM	OA CFM	ESP	V/PH/Hz	FLA	MCA	MOCP	NOTES	LEB.
FCU-3A	8,000	300		0.3	208-230/1/60	0.58	1.05	15	18\"/>	
FCU-3B	12,000	370		0.3	208-230/1/60	0.88	1.21	15	18\"/>	
FCU-3C	24,000	710			208-230/1/60		0.37	15	DUCTLESS WALL UNIT MITSUBISHI PUMY-P128MLU-E	48
FCU-3D	8,000	235			208-230/1/60		0.24	15	DUCTLESS WALL UNIT MITSUBISHI PUMY-P128MLU-E	25

\* UNITS 3C AND 3D WITH CONDENSATE LIFT PUMP.

**FAN SCHEDULE**

UNIT TAG	TYPE OF SERVICE	VT, CLSD	CFM	ESP	RPM	CONES	ELEC.	V/PH/Hz	NOTES
TF-1	TOILET EXH		100	0.25		<1.0	42 W	115/1/60	CEILING FAN WITH GRILLE, DC MOTOR, AUTO SPD COMPENSATION, BACKDRIFT DAMPER, PANASONIC FV-30G3
TF-2	TOILET EXH		200	0.25		<1.0	81 W	115/1/60	CEILING FAN WITH GRILLE, DC MOTOR, AUTO SPD COMPENSATION, BACKDRIFT DAMPER, PANASONIC FV-30G3

**HUGH RESIDENCE**  
751 PUU PAKA DR, HONOLULU HI 96817  
TMK: 2-2-047-020

Division By Date

**EQUIPMENT SCHEDULE MISC. DETAILS**

Title

Project No.

Date **11/25/20**

Drawn **LU**



HAWAIIAN REGISTERS THIRD-PARTY CERTIFICATION  
 ARCHITECT     CIVIL ENGINEER  
 MECHANICAL ENGINEER     ELECTRICAL ENGINEER  
 STRUCTURAL ENGINEER     PLUMBING ENGINEER

**GEORGE LEWIS ARCHITECT, INC.**  
 1001 KALANIANA'OHU BLVD, SUITE 100  
 HONOLULU, HI 96813  
 PHONE: 808-533-2041

Drawing No.

**M103**